

240 G Street

Davis, CA



Vertical Mixed Use
120 Units + 6 Work/ Live Lofts
10/20/2023

Design Package

Planning Resubmittal 1.
Response to Comments from the City of Davis 9/25/2023

#22030 | B03



590 Ygnacio Valley Road, Suite 310. Walnut Creek, California 94596 | (925) 944-1626 | www.lca-architects.com

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Vicinity Map



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Overall View from Train Station



South West Corner- Rear



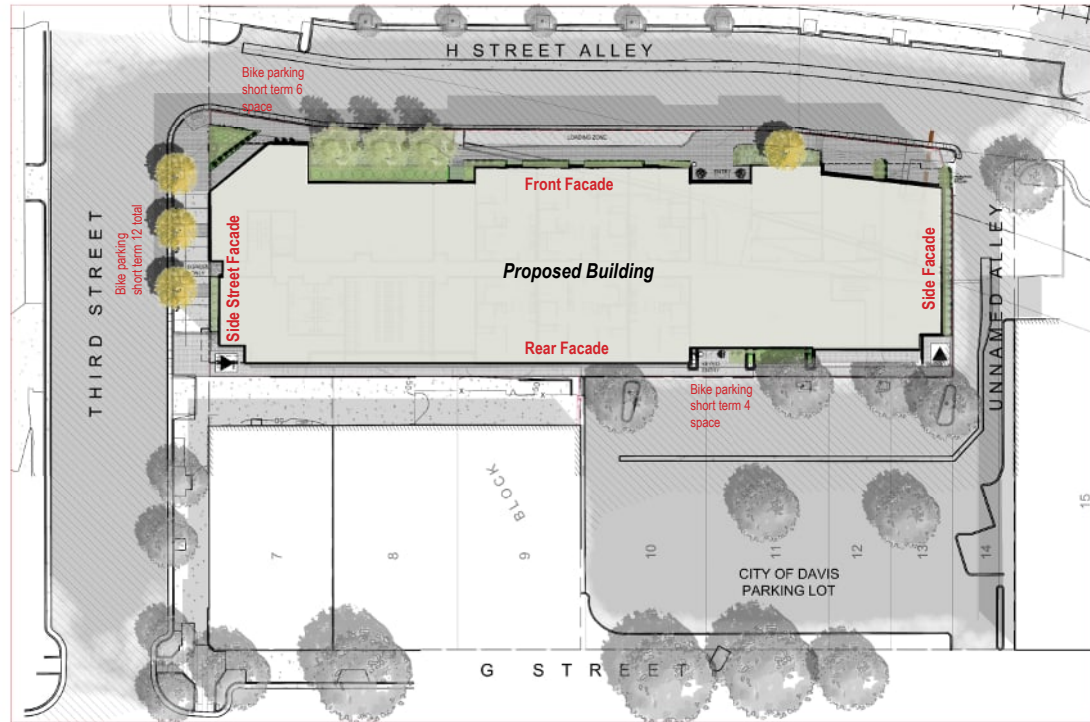
South East Corner



North East Corner



North West Corner



CONCEPTUAL
SITE PLAN



SITE INFORMATION AND F.A.R.

ADDRESS:	240 G. STREET, DAVIS, CA 95616
A.P.N. #	070-250-18
GENERAL PLAN	MIXED USE
ZONING	MU-1: MAIN STREET LARGE
MAXIMUM HEIGHT LIMIT:	75 FT. HEIGHT OF BLDG: 70'6"
SITE AREA:	29,612 SQ. FT. (0.68 ACRES)
BUILDING AREA:	130,310 SQ. FT.
F.A.R.	4.7

PROJECT BREAKDOWN:

4 - 1 BR LIVE/WORK UNITS
2 - 2 BR LIVE/WORK UNITS
15 - 2 BR BED + DEN
40 - 1 BR BED + DEN
10 - 1 BEDROOM
15 - 2 BEDROOM
40 - JUNIOR 1 BR

UNITS - 120 TOTAL

COMMERCIAL SPACE: 2,130 SQUARE FEET

AMENITIES: FITNESS CENTER, MEETING ROOM, BIKE STORAGE

BIKE PARKING

INTERIOR (LONG TERM STANDARD)	258 SPACES
INTERIOR (LONG TERM SPECIALTIES)	10 SPACES
EXTERIOR (SHORT TERM)	22 SPACES

*PROVIDE ACCESS FOR CHARGING OF ELECTRIC BIKES. ACCESS TO BE PROVIDED TO GARAGE/FLEET OF COMMERCIAL SPACE.
*SPECIALLY MARKED BIKES: MOTOR BIKES, CARGO BIKES, TRICYCLES AND OTHER NON-STANDARD DEVICES.

BIKES ARE NOT ALLOWED IN DWELLING UNITS

VEHICLE PARKING

RESIDENTIAL PARKING	50 SPACES
CARSHARE PARKING	2 SPACES
ALL OTHER USE PARKING	0
CARPOL PARKING	0

*ALL OFF-STREET PARKING SPACES ACCESSORY TO RESIDENTIAL USES BE LEASED OR SOLD SEPARATELY FROM THE RENTAL OR PURCHASE FEES FOR DWELLING OR THE LIFE OF THE DWELLING.



240 G STREET
Apartments
240 G Street, Davis, CA 95616

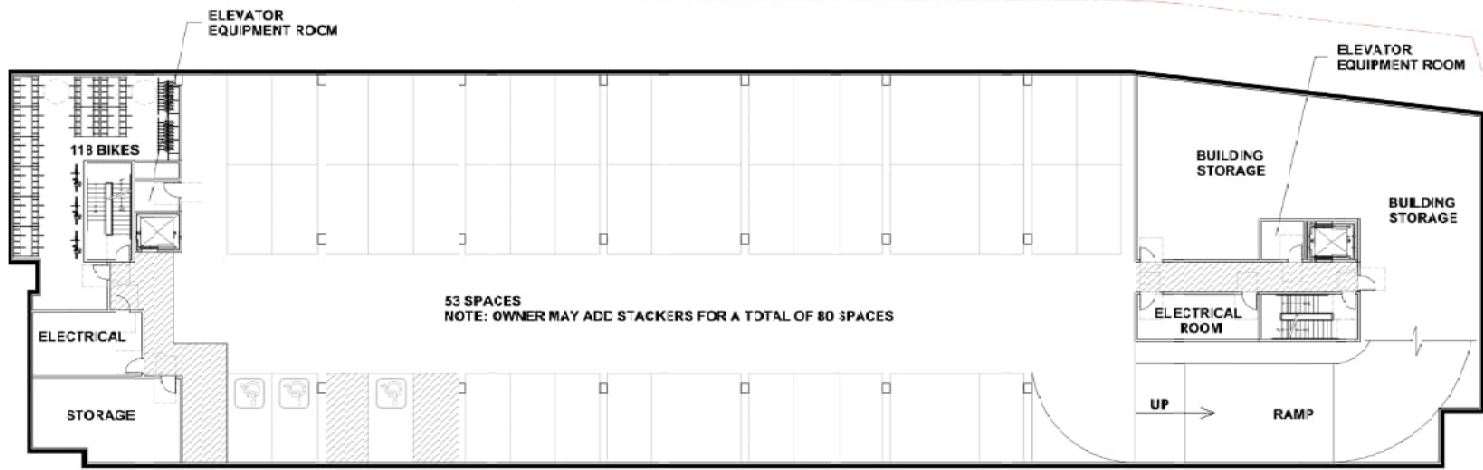
240 G STREET
Apartments
240 G Street, Davis, CA 95616

CONCEPTUAL
SITE PLAN

SCALE:
DATE: 10/20/2023
REVISIONS:

PROJECT NO: 22030
A1.0
SHEET OF





GROSS SQUARE FOOTAGE	
BASEMENT AREA	22,143

CONCEPTUAL BASEMENT LEVEL PLAN

10/20
SCALE: 1/8" = 1'-0"



LCA ARCHITECTS, INC.
240 G STREET
DAVIS, CALIFORNIA 95618
TEL: (916) 752-1111
WWW.LCA-ARCHITECTS.COM

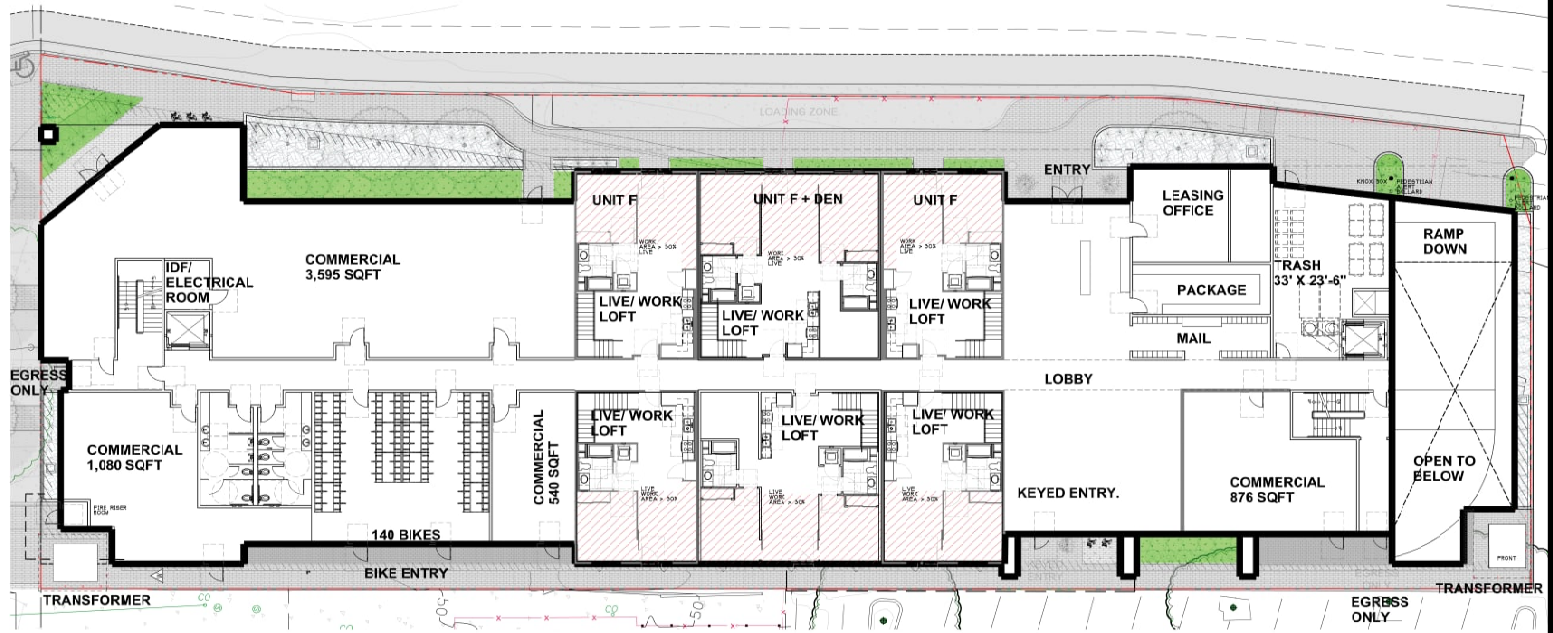
240 G STREET
Apartments
240 G Street, Davis, CA 95618

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240 G STREET
DAVIS, CALIFORNIA 95618
TEL: (916) 752-1111
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CONCEPTUAL
BASEMENT
LEVEL PLAN

SCALE:
DATE: 10 / 20 / 2023
REVISIONS:

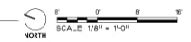
PROJECT NO. 22030
A2.0
SHEET OF



LIVE/WORK LOFTS						
JNT TYPE	IC UNITS	SQARE FOOTAGE 1ST LEV.	SQUARE FOOTAGE MEZZANINE LEVEL	SQUARE FOOTAGE TOTAL	SQUARE FOOTAGE WORK	% OF WORK
JNT F	1	906	313	1,224	374	31
JNT F + DEN	2	1343	368	1,704	591	35

GROSS SQUARE FOOTAGE	
GROUND FLOOR	19,369
ELEVATORS & SHIFTS	264
OPEN TO BELOW	1,348
TOTAL	21,731

CONCEPTUAL
GROUND LEVEL PLAN



VIEW: LA 10/20/2023 10:00 AM
 DATE: 10/20/2023
 SCALE: 1/8" = 1'-0"
 PROJECT NO.: 22030
 SHEET: A2.1

240 G STREET
 Apartments
 240 G Street, Davis, CA 95616

LCA ARCHITECTS
 1000 UNIVERSITY AVENUE, SUITE 100
 BERKELEY, CA 94702
 TEL: 415.863.1234
 FAX: 415.863.1235
 WWW.LCA-ARCHITECTS.COM

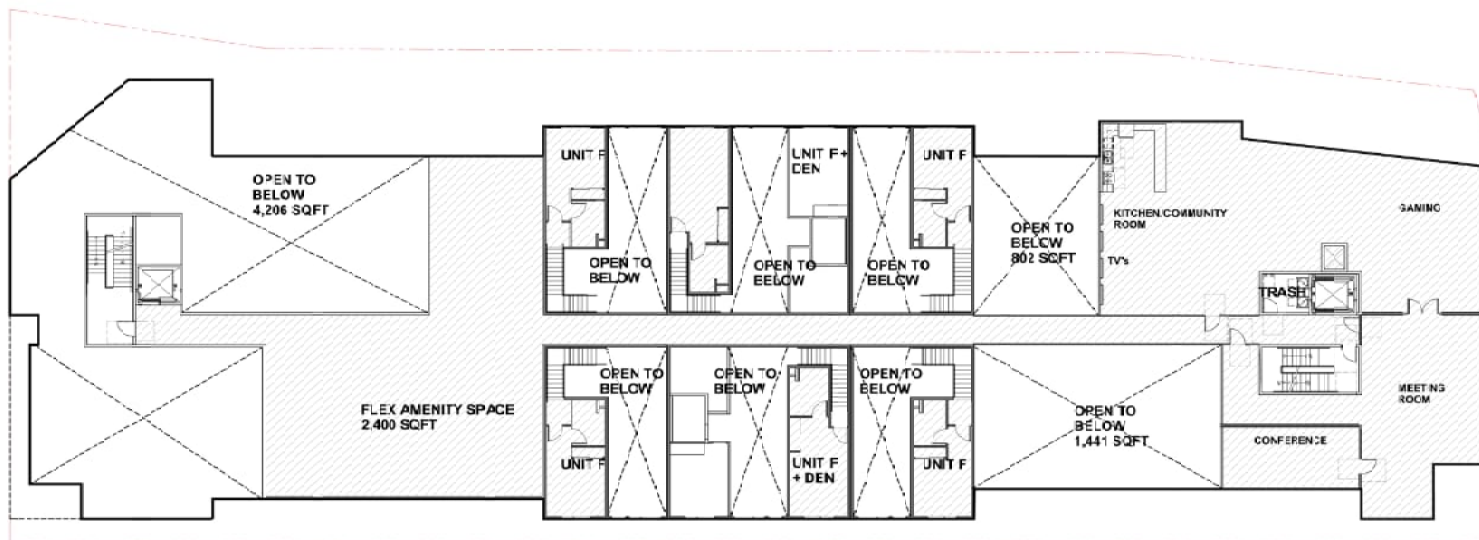
CONCEPTUAL
GROUND
LEVEL PLAN

SCALE
DATE: 10/20/2023
REVISIONS:

PROJECT NO.: 22030
A2.1
 SHEET OF

22030 - 240 G-Street -Davis - Exterior Concept
 October 20, 2023





VIEWWORKLOFS						
JNTT'PE	VC JNTS	SQARE FOOTAGE 1ST LEVEL	SQARE FOOTAGE MIZZANNE LEVEL	SQARE FOOTAGE TOTAL	SQARE FOOTAGE WORK	% OF WORK
JNTF	4	636	318	1,222	374	11
JNTF + DEV	2	1340	364	1,704	591	15

GROSS SQUARE FOOTAGE	
MEZZANNE LEVEL	14,151
ELEVATORS & SHIFTS	364
OPEN TO BE.CW	6,419
TOTAL	21,135

CONCEPTUAL MEZZANINE LEVEL PLAN

SCALE: 1/8" = 1'-0"

DATE: 10/20/2023

REVISIONS:



WWW.LCA-ARCHITECTS.COM
 240 G STREET
 DAVIS, CALIFORNIA 94604
 415.442.1818
 415.442.1819
 415.442.1820

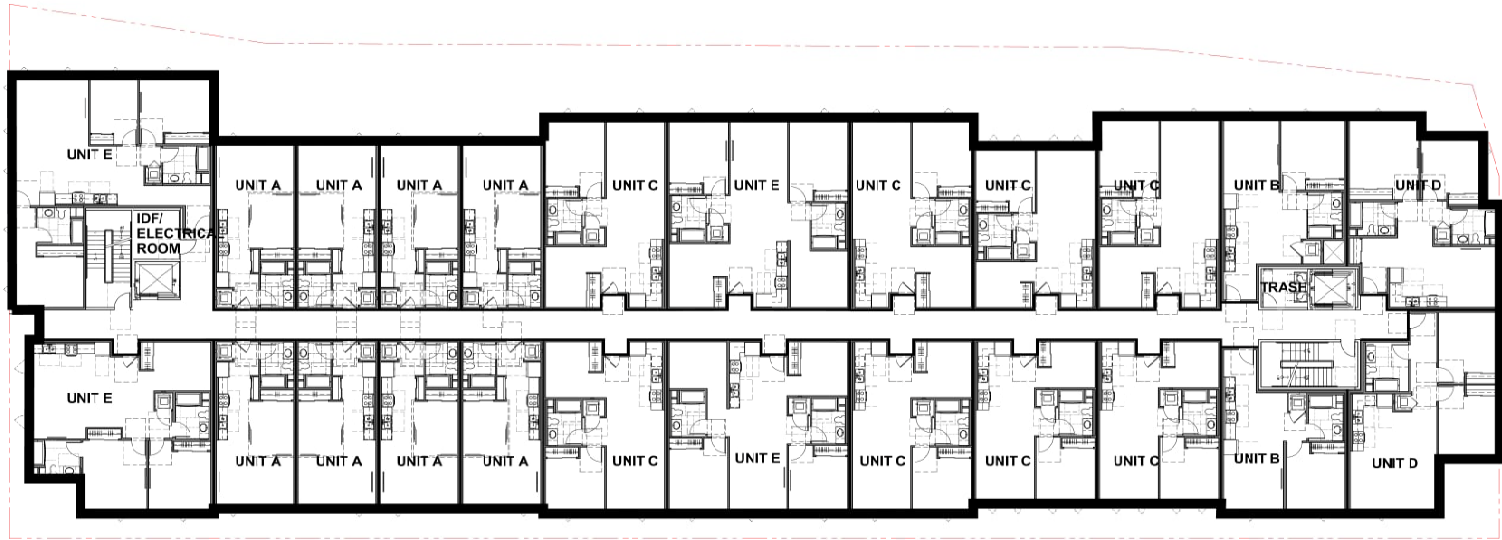
240 G STREET
 ADDITIONAL SHEET 02/01/24

LCA ARCHITECTS
 240 G STREET, DAVIS, CA 94604
 415.442.1818
 415.442.1819
 415.442.1820

CONCEPTUAL MEZZANINE LEVEL PLAN

SCALE:
 DATE: 10/20/2023
 REVISIONS:

PROJECT NO. 22030
A2.1M
 SHEET 02

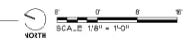


UNIT SUMMARY LEVEL 2-4				
UNIT TYPE	NO. UNITS	SQUARE FOOTAGE	NO. BEDROOMS	NO. DEN
UNIT A	40	961	-	-
UNIT B	10	729	1	3
UNIT C	40	861	1	1
UNIT D	14	1,051	2	3
UNIT E	16	1,325	2	1
120 TOTAL UNITS				

LEVEL 2	
UNIT TYPE	NO. UNITS
UNIT A	8
UNIT B	2
UNIT C	8
UNIT D	2
UNIT E	4

GROSS SQUARE FOOTAGE	
SECOND FLOOR	22,803
ELEVATORS & SHIFTS	264
TOTAL	23,172

CONCEPTUAL
SECOND LEVEL PLAN



VIEW: LA - PROJECT: 22030
DATE: 10/20/2023
SCALE: 1/8" = 1'-0"
PROJECT NO.: 22030
SHEET: 02

240 G STREET
Apartments
240 G Street, Davis, CA 95616

LCA ARCHITECTS
1415 UNIVERSITY AVENUE, SUITE 200
DAVIS, CA 95616
TEL: 530.756.1111
WWW.LCA-ARCHITECTS.COM

CONCEPTUAL
SECOND
LEVEL PLAN
SCALE
DATE: 10 / 20 / 2023
REVISIONS:
PROJECT NO.: 22030
A2.2
SHEET OF

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October 20, 2023





UNIT SUMMARY LEVEL 2-4				
UNIT TYPE	NO. UNITS	SQUARE FOOTAGE	NO. BEDROOMS	NO. DEN
UNIT A	40	561	-	-
UNIT B	10	729	1	0
UNIT C	40	891	1	1
UNIT D	14	1,055	2	0
UNIT E	16	1,321	2	1

120 TOTAL UNITS

LEVEL 3	
UNIT TYPE	NO. UNITS
UNIT A	8
UNIT B	2
UNIT C	8
UNIT D	2
UNIT E	4

GROSS SQUARE FOOTAGE	
THIRD FLOOR	22,503
ELEVATORS & SHAFTS	264
TOTAL	23,172

CONCEPTUAL
THIRD LEVEL PLAN



VIEW: LA ARCHITECTS, INC.
DATE: 10/20/2023
PROJECT NO.: 22030
SHEET: 03 OF 04

240 G STREET
Apartments
240 G Street, Davis, CA 95616

LCA ARCHITECTS
1400 R STREET, SUITE 100
DAVIS, CA 95618
TEL: 530.756.1111
WWW.LCAARCHITECTS.COM

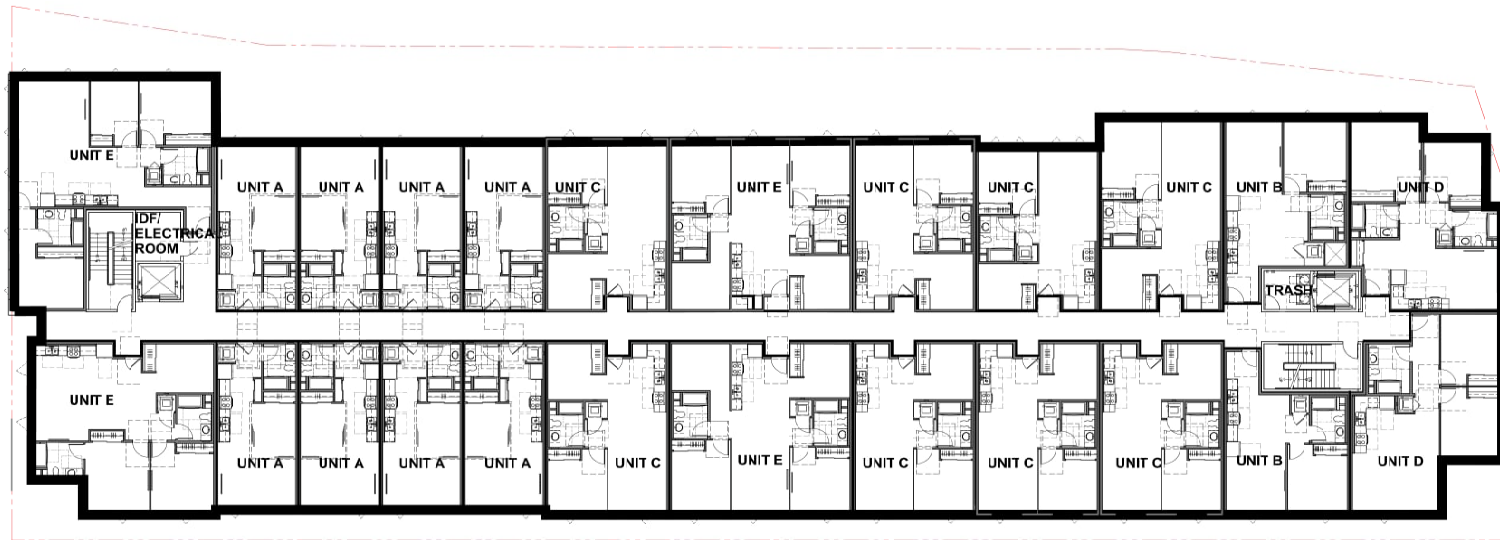
CONCEPTUAL
THIRD LEVEL PLAN

SCALE:
DATE: 10 / 20 / 2023
REVISIONS:

PROJECT NO.: 22030
A2.3
SHEET OF

22030 - 240 G-Street -Davis - Exterior Concept
October 20, 2023





UNIT SUMMARY LEVEL 4				
UNIT TYPE	NO. UNITS	SQUARE FOOTAGE	NO. BEDROOMS	NO. DEN
UNIT A	40	561	-	-
UNIT B	10	729	1	3
UNIT C	40	851	1	1
UNIT D	14	1,051	2	3
UNIT E	16	1,325	2	1
120 TOTAL UNITS				

LEVEL 4	
UNIT TYPE	NO. UNITS
UNIT A	8
UNIT B	2
UNIT C	8
UNIT D	2
UNIT E	4

GROSS SQUARE FOOTAGE	
FOURTH FLOOR	22,503
ELEVATORS & SHIFTS	264
TOTAL	23,172

CONCEPTUAL
FOURTH LEVEL PLAN



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October 20, 2023



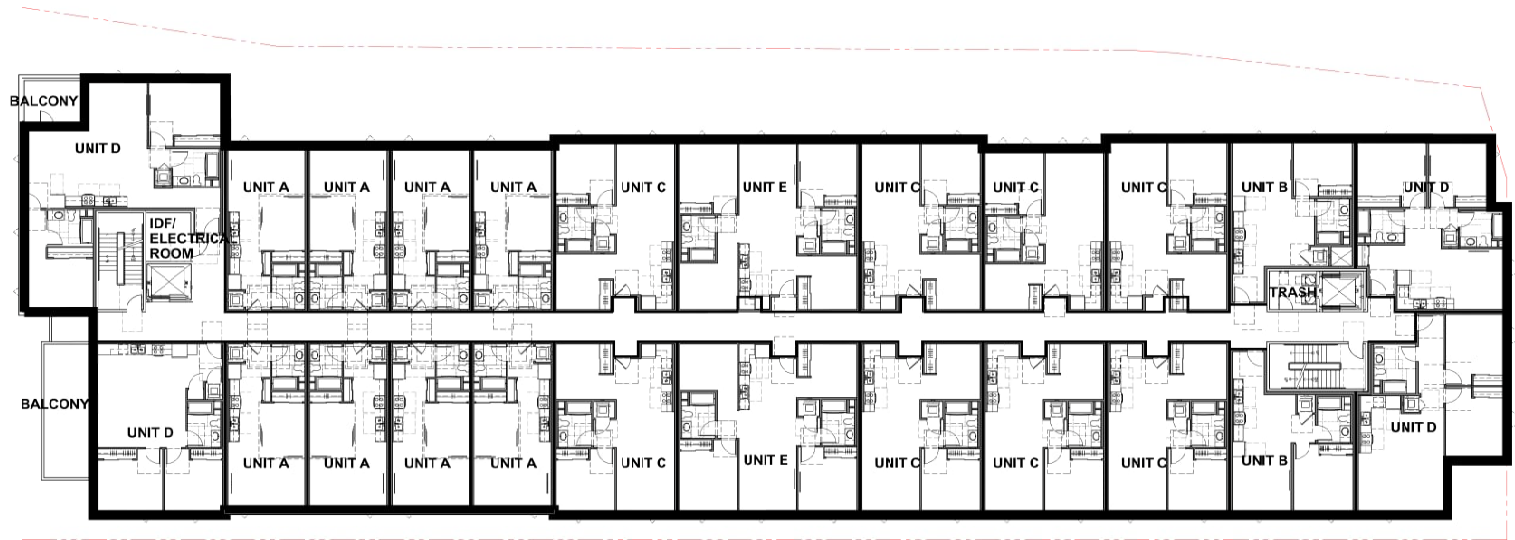
VIEW: LA 10/20/2023 10:00
DATE: 10/20/2023
PROJECT NO.: 22030
SHEET: 04

240 G STREET
Apartments
240 G Street, Davis, CA 95616

LCA ARCHITECTS
1400 UNIVERSITY AVENUE, SUITE 100
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TEL: 530.756.1111
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SCALE
DATE: 10/20/2023
REVISIONS:

PROJECT NO.: 22030
A2.4
SHEET OF

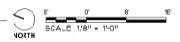


UNIT SUMMARY LEVEL 26				
UNIT TYPE	NO. UNITS	SQ. FT.	NO. BEDROOMS	NO. DEN
UNIT A	40	561	-	-
UNIT B	19	726	1	0
UNIT C	40	691	1	1
UNIT D	14	1,017	2	0
UNIT E	13	1,319	2	1
120 TOTAL UNITS				

LEVEL 5	
UNIT TYPE	NO. UNITS
UNIT A	0
UNIT B	2
UNIT C	0
UNIT D	4
UNIT E	2

GROSS SQUARE FOOTAGE	
FIFTH FLOOR	21,937
ELEVATORS & SHIFTS	264
TOTAL	22,201

CONCEPTUAL FIFTH LEVEL PLAN



22030 - 240 G-Street -Davis - Exterior Concept
October 20, 2023



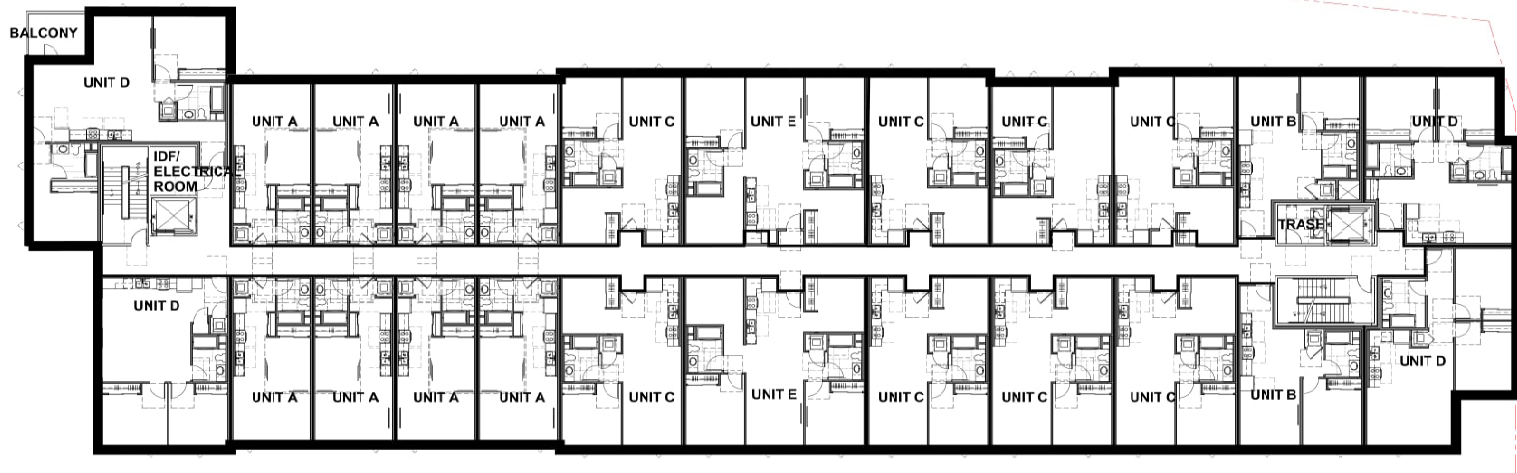
VIEW: LA ARCHITECTS
DATE: 10/20/2023
SCALE: 1/8" = 1'-0"
PROJECT NO.: 22030
SHEET: 05

240 G STREET
Apartments
240 G Street, Davis, CA 95616

CONCEPTUAL FIFTH LEVEL PLAN

SCALE: 1/8" = 1'-0"
DATE: 10/20/2023
REVISIONS:

PROJECT NO.: 22030
A2.5
SHEET OF



UNIT SUMMARY LEVEL 2-6				
UNIT TYPE	NO. UNITS	SQUARE FOOTAGE	NO. BEDROOMS	NO. DEN
UNIT A	40	161	-	-
UNIT B	10	79	-	0
UNIT C	40	191	-	1
UNIT D	14	107	2	0
UNIT E	16	329	2	1
120 TOTAL UNITS				

LEVEL 5	
UNIT TYPE	NO. UNITS
UNIT A	8
UNIT B	2
UNIT C	8
UNIT D	4
UNIT E	2

GROSS SQUARE FOOTAGE	
SIXTH FLOOR	21,937
ELEVATORS & SHIFTS	264
TOTAL	22,201

CONCEPTUAL
SIXTH LEVEL PLAN



VIEW: LA-202303-0001
DATE: 10/20/2023
PROJECT NO.: 22030
SHEET: 02 OF 02

240 G STREET
Apartments
240 G Street, Davis, CA 95616

LCA ARCHITECTS
1415 UNIVERSITY AVENUE, SUITE 100
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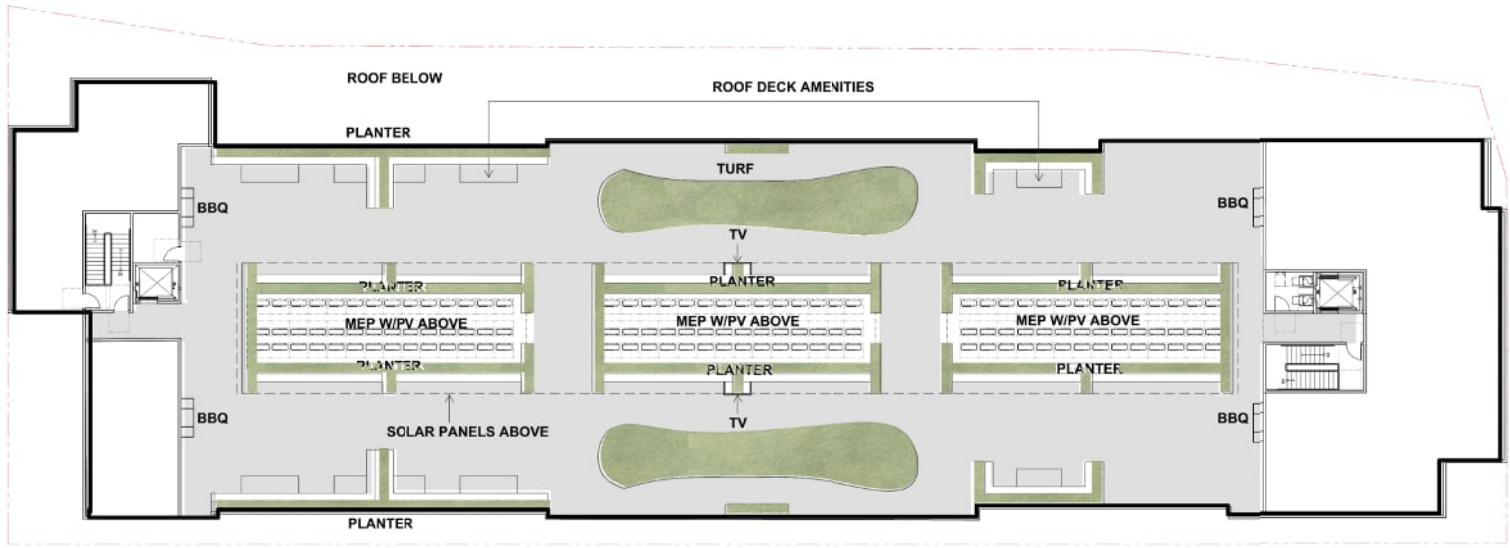
CONCEPTUAL
SIXTH
LEVEL PLAN

SCALE
DATE: 10 / 20 / 2023
REVISIONS:

PROJECT NO.: 22030
A2.6
SHEET OF

22030 - 240 G-Street -Davis - Exterior Concept
October 20, 2023





GROSS SQUARE FOOTAGE	
ROOF PLAN	21,738
ELEVATORS & SHAFTS	364
TOTAL	22,100



CONCEPTUAL
ROOF PLAN



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SAN FRANCISCO, CALIFORNIA 94108
(415) 774-1000

240 G STREET
Apartments
240 G Street, Davis, CA 95616

CONCEPTUAL
ROOF
PLAN
SCALE:
DATE: 10/20/2023
REVISIONS:
PROJECT NO. 22030
A2.7
SHEET OF

22030 - 240 G-Street -Davis - Exterior Concept
October 20, 2023



Bird Safe Design:

Bird safe design measures shall be utilized such as netting, permanent stencils, frosted glass, exterior screens, or physical grids placed on the exterior of glazing, for portions of buildings over 50 feet in height.



Side Street / North / 3rd Street Elevation

Dimensions are approximate and have been rounded to a half foot for planning purposes. Final dimensions may vary slightly.



Street / East / H Street Elevation

Dimensions are approximate and have been rounded to a half foot for planning purposes. Final dimensions may vary slightly.

Bird Safe Design:

Bird safe design measures shall be utilized such as netting, permanent stencils, frosted glass, exterior screens, or physical grids placed on the exterior of glazing, for portions of buildings over 50 feet in height.



Side / South / Alley Elevation

Dimensions are approximate and have been rounded to a half foot for planning purposes. Final dimensions may vary slightly.

Bird Safe Design:
 Bird safe design measures shall be utilized such as netting, permanent stencils, frosted glass, exterior screens, or physical grids placed on the exterior of glazing, for portions of buildings over 50 feet in height.



Rear / West/ G Street Elevation

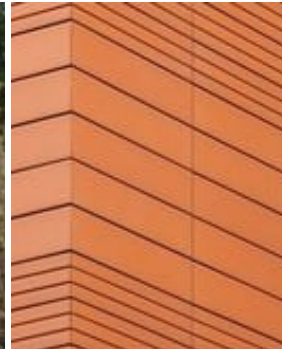
Dimensions are approximate and have been rounded to a half foot for planning purposes. Final dimensions may vary slightly.

Bird Safe Design:

Bird safe design measures shall be utilized such as netting, permanent stencils, frosted glass, exterior screens, or physical grids placed on the exterior of glazing, for portions of buildings over 50 feet in height.



White Planes.



Terracotta Inspired.

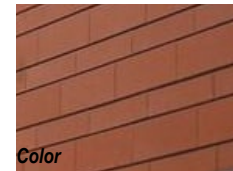


Tan Brick.

Material Vernacular + Reference



White Planes:
 Portland Cement Plaster
 Color: White
 Texture: Smooth



Terracotta Inspired
 Cementitious Siding
 Color: Terracotta
 Pattern: Horizontal Ship-lap



Tan Brick
 Thin Brick Veneer
 Color: Tan Mix
 Pattern: Running Bond



Dark Base:
 Portland Cement Plaster
 Color: Dark Grey
 Texture: Smooth

Material Selections

Front Facade



Volume 3:
Tripartite with distinct base as change in material and below expression line of floor above. This volume also utilizes vertical articulation with some material breaking the base articulation to further avoid appearance of large building

Volume 2:
Tripartite with distinct base below expression line of architectural feature of covered awning

Volume 1:
Tripartite with distinct base as a change in material and color

Corner Element:
Exempt from tripartite

Side Street Facade



Corner Element:
Exempt from tripartite

Volume 1:
Tripartite with distinct base as a change in material and color

Tripartite Exhibit

Area does not change color above 3rd level at Vertical Articulation..

Change of material.

Change of material.

Above 3rd Level

Vertical Articulation.



Front Facade

Change of material.

Change of material.

Above 3rd Level

Vertical Articulation.



Rear Facade

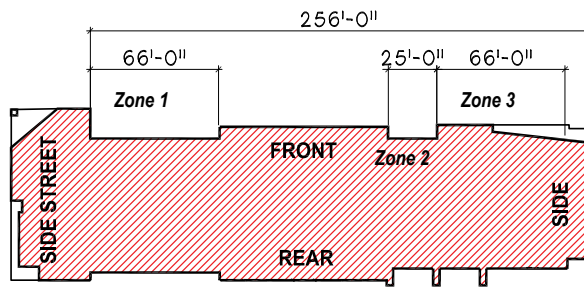
Material Change Exhibit



ZONE 1 Step Upward: Material and form was stepped up 1 level to break form.

ZONE 2 Broken Facade: form and material break to delineate volume massing

ZONE 3 Step Downward: material and form was stepped down 1 level to break form

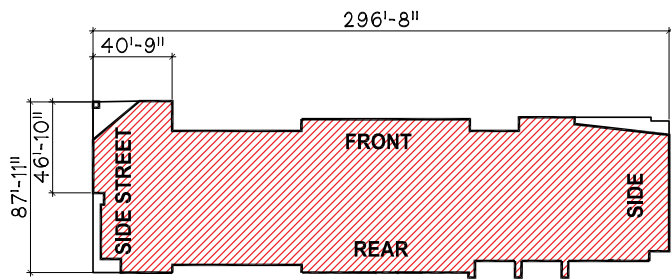


Overall facade (not including corner element) Linear Feet: 256'

Zone 1 SQFT:	66'
Zone 2 SQFT:	25'
Zone 3 SQFT:	66'
Total:	157' > 50%

Vertical Articulation Exhibit
 Dimensions are approximate for massing purposes only.

Vertical Articulation



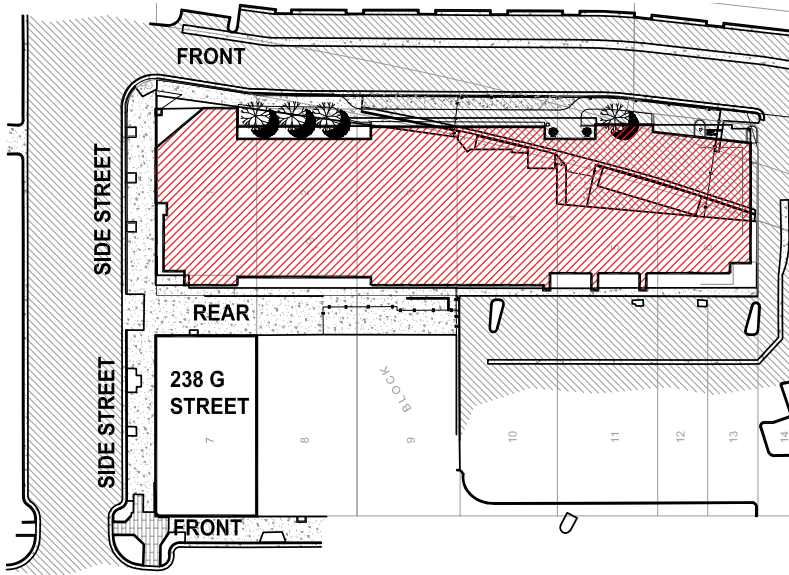
Corner Element Exhibit

Dimensions are approximate for massing purposes only. Refer to plan for dimensions



Corner Element

Corner Element Exhibits



HISTORIC RESOURCE ADJACENCY EXHIBIT

238 G STREET has been identified as an historic resource. The exhibit above shows the orientation of the proposed building in context of 238 G Street. The exhibit shows that adjacencies are located on the rear of the two projects separated by an alleyway. 40.14.080.C does not require additional rear setbacks when adjacent to a Historic Resource.

HISTORIC RESOURCE CEILING HEIGHT

238 G Street has varying ceiling heights. The closest ground floor ceiling height to the proposed project is below a mezzanine level and is therefor below the minimum 13' required ceiling height. The remaining ground floor ceiling heights in the Historic Resource vary do to the barrel truss construction. A consistent ceiling to match is not present in the adjacent building.



VIEW

From corner of 3rd Street and G Street

Historic Resource Adjacency

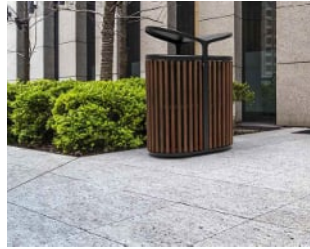
SITE FURNISHING



DELTA PLANTER - TOURNESOL SITEWORKS
MODEL: DT-4200



VARSITY® BIKE DOCK®
MODEL: DV21B SURFACE MOUNT ON PAVERS



TONYO RECEPTACLE - FORMIS • SURFACES
MODEL: 8LTNO-218C SURFACE MOUNT

RAISED PLANTERS



KITSAP MODULAR METAL PLANTER WALLS -
TOURNESOL - POWDER COATED FINISH



WILSHIRE STEEL COLLECTION -
TOURNESOL - POWDER COATED FINISH

PAVING



BELGARD PERMEABLE PAVERS - AQUALINE
COLOR: GRAPHITE



CONCRETE SIDEWALK WITH MEDIUM SAND FINISH

PLANTING IMAGES



ACER RUBRUM



CHONDROPETALUM TECTORUM



SISTRINCHIUM BELLUM



POLYSTICHUM MUNITUM



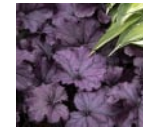
CHILOPSIS LINEARIS



LOBELIA CARDINALIS



IRIS DOUGLASSIANA



HEUCHERA X 'TNEUFF' FP
#26.358



HEUCHERA X 'TNEUFF' FP
#26.358



PHORMIUM 'YELLOW WAVE'



PENNISETUM 'HAMELYN'



REVISIONS:

- 10/20/2023
-
-
-

DATE: 06/09/2023

SCALE: 1/16" = 1'-0"

JOB: 23-018

SHEET

L-3.0

GENERAL NOTES

- ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF DAVIS STANDARD SPECIFICATIONS AND PLANS AND IS SUBJECT TO THE INSPECTION AND APPROVAL OF THE ENGINEERING DIVISION OF THE PUBLIC WORKS DEPARTMENT. ALL REVISIONS MUST BE APPROVED BY THE CITY ENGINEER PRIOR TO CONSTRUCTION.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION, A PRE-JOB CONFERENCE SHALL BE REQUESTED BY THE DEVELOPER THROUGH THE CITY ENGINEER. (530) 747-5846
- APPROVAL OF THESE PLANS BY THE CITY ENGINEER SHALL NOT RELIEVE THE DEVELOPER OR THE ENGINEER FROM THE RESPONSIBILITY FOR THE DESIGN OF THE IMPROVEMENTS AND FOR ANY DEFICIENCIES RESULTING FROM THE DESIGN THEREOF.
- IN ACCORDANCE WITH STATE AND FEDERAL OSHA REQUIREMENT, A DESIGNATED COMPETENT PERSON SHALL BE ON-SITE AT ALL TIMES. PRIOR TO INITIATING ANY WORK, THE DEVELOPER AND/OR GENERAL CONTRACTOR SHALL DESIGNATE THE SITE COMPETENT PERSON(S) IN WRITING TO THE CONSTRUCTION COORDINATOR AND ENGINEERING INSPECTOR. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND/OR CONTRACTOR TO MAINTAIN AN UP TO DATE LIST OF DESIGNATED COMPETENT PERSONS, AND TO KEEP THE LIST ON FILE WITH THE CITY. NO WORK SHALL PROCEED AT ANY TIME WITHOUT BENEFIT OF A COMPETENT PERSON ON-SITE.
- THE DEVELOPER SHALL OBTAIN ALL NECESSARY PERMITS FROM OTHER REGULATORY AGENCIES FOR PROJECTS WITHIN SENSITIVE AREAS OR WHICH HAVE SIGNIFICANT STORMWATER POLLUTION POTENTIAL. OTHER REGULATORY AGENCIES INCLUDE, BUT ARE NOT LIMITED TO, THE REGIONAL WATER QUALITY CONTROL BOARD, DEPARTMENT OF FISH AND WILDLIFE AND ARMY CORPS OF ENGINEERS.
- DEWATERING PROJECT SITE MUST MEET SPECIFIC REQUIREMENTS OF THE STATE CONSTRUCTION GENERAL PERMIT (IF APPLICABLE) AND THE CITY OF DAVIS' STORMWATER ORDINANCE INCLUDING COMPLIANCE WITH THE PROHIBITIONS ON DISCHARGES OF TOXICS, IMPLEMENTING BEST MANAGEMENT PRACTICES (BMPs) TO PREVENT CONTACT OF DEWATERING WATERS WITH CONSTRUCTION MATERIALS OR EQUIPMENT, AND MONITORING FOR AND COMPLIANCE WITH APPLICABLE WATER QUALITY STANDARDS. DEVELOPER SHALL CONTACT THE CITY FOR APPROVAL OF THE ACTIVITY.
- DEVELOPER SHALL NOT DISCHARGE WATER ONTO ADJACENT PROPERTIES WITHOUT WRITTEN APPROVAL OF THE PROPERTY OWNER.
- ALL LANDSCAPING IS SUBJECT TO CITY INSPECTION. ANY CHANGE IN THE APPROVED LANDSCAPE PLAN MUST BE APPROVED BY THE CITY'S DESIGN REVIEW STAFF.
- CITY STANDARD PLANS INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING: (LIST NUMBER AND TITLE.)
301-1 CURB, GUTTER, AND SIDEWALK
301-4 STANDARD DRIVEWAY DETAILS

GRADING NOTES

- GRADING SHALL CONFORM TO THE GRADING ORDINANCE OF CHAPTER 9, TITLE 9, OF THE CITY OF DAVIS MUNICIPAL CODE. THE GRADING PLAN AND SITE IMPROVEMENT PLAN SHALL BE APPROVED BY THE CITY ENGINEER. ALL REVISIONS TO THE GRADING AND SITE IMPROVEMENT PLANS MUST BE APPROVED BY THE CITY'S DEVELOPMENT ENGINEERING SECTION OF THE PUBLIC WORKS DEPARTMENT.
- EXTERIOR PROPERTY CORNERS SHALL BE MARKED, AS REQUIRED BY THE CITY ENGINEER PRIOR TO COMMENCING ANY GRADING OPERATIONS, AND SHALL BE MAINTAINED THROUGHOUT THE GRADING OPERATIONS. ALL PROPERTY CORNERS OR OFFSET MARKERS SHALL BE VISIBLE AT THE TIME OF THE ROUGH AND FINAL INSPECTIONS.
- ALL TREES TO BE SAVED REQUIRE PROTECTION PER CITY STANDARDS AND SHALL BE FLAGGED AND MARKED PRIOR TO ANY CLEARING OR STRIPPING WORK AND PROTECTIVE FENCING, WHERE REQUIRED BY THE CITY, SHALL BE INSTALLED PRIOR TO COMMENCING ANY GRADING. LOCATIONS OF FENCING SHALL BE DETERMINED IN THE FIELD BY THE CITY UPON COMPLETION OF THE STAKING OF DAYLIGHT LINES.
- GRADING OR ANY OTHER OPERATION THAT CREATES DUST SHALL BE STOPPED IMMEDIATELY IF DUST AFFECTS ADJACENT PROPERTIES. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES AND A DUST PALLIATIVE MAY BE REQUIRED BY THE CITY ENGINEER.
- MUD TRACKED ONTO STREETS OR ADJACENT PROPERTIES SHALL BE REMOVED IMMEDIATELY. STREETS SHALL BE SWEEP AS DIRECTED BY THE CITY INSPECTOR.
- PROJECTS PROPOSED FOR CONSTRUCTION BETWEEN OCTOBER 1ST AND APRIL 30TH, MUST HAVE AN EROSION AND SEDIMENTATION CONTROL PROGRAM APPROVED, AND IMPLEMENTED TO THE MAXIMUM EXTENT POSSIBLE, PRIOR TO THE START OF ON-SITE EARTHWORK. EARTHWORK THAT IS NECESSARY TO INSTALL EROSION AND SEDIMENTATION CONTROL FACILITIES, SUCH AS DRAINAGE DITCHES AND SEDIMENTATION BASINS, MAY PROCEED CONCURRENT WITH THE INSTALLATION OF THE CONTROL FACILITIES. EROSION CONTROL PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER FOR APPROVAL BY SEPTEMBER 1, AND IMPLEMENTATION COMPLETED BY OCTOBER 1. ALL SITE WORK EXCEPT IMPLEMENTATION OF THE EROSION CONTROL PLAN WILL BE SUBJECT TO SUSPENSION BY THE CITY IF THE REQUIREMENTS OF THIS GENERAL NOTE ARE NOT MET.
- PRIOR TO FOUNDATION INSPECTION, THE ENGINEER SHALL PROVIDE A REPORT STATING THAT LINES AND GRADES WERE SET IN THE FIELD IN ACCORDANCE WITH THE APPROVED GRADING PLAN AND THAT THE PADS ARE GRADED TO WITHIN 0.2 FOOT (50MM) OF THE ELEVATIONS SHOWN ON THE APPROVED GRADING PLAN. ALSO, A GRADING REPORT PREPARED BY A SOILS ENGINEER, SHALL BE SUBMITTED WHICH INCLUDES THE LOCATIONS AND ELEVATIONS OF FIELD DENSITY TESTS, AND COMPARES TEST RESULTS WITH RECOMMENDED COMPACTION REQUIREMENTS AS SPECIFIED IN A SOILS REPORT OR STANDARD PLANS AND SPECIFICATIONS. IF TESTS SHOW THAT ACTUAL COMPACTION HAS NOT EQUALED OR SURPASSED THAT WHICH IS RECOMMENDED, THE SOILS ENGINEER SHALL PROVIDE THE PROPOSED ACTION TO BE TAKEN. SEE SOILS REPORT FOR COMPACTION REQUIREMENTS.
- INSPECTION OF FINISH GRADING OF SWALES ADJACENT TO STRUCTURES SHALL BE PERFORMED BY THE ENGINEERING INSPECTOR PRIOR TO FINAL BUILDING INSPECTION.
- ALL STORM DRAIN STRUCTURES GREATER THAN FOUR FEET IN DEPTH SHALL HAVE STEPS INSTALLED PER THE LATEST ACCEPTED SAFETY STANDARDS. A CONCRETE COVER SLAB SHALL BE INSTALLED OVER PIPE, IN PAVED AREAS, WITH LESS THAN 2.5 FEET OF COVER TO SUBGRADE.
- POST CONSTRUCTION CCTV INSPECTION IS REQUIRED ON ALL STORM DRAIN LINES 12" AND LARGER SHOWN ON THE PLANS IN THE RIGHT OF WAY AND/OR CONNECTED TO STORM WATER TREATMENT AND FLOW CONTROL FACILITIES ON PRIVATE PROPERTY. STORM DRAIN CCTV INSPECTION SHALL BE PERFORMED PER CITY OF DAVIS SPECIFICATIONS.
- ALL UNDERGROUND UTILITIES WITHIN THE RIGHT-OF-WAY OR ACCESS EASEMENT, INCLUDING MAINS AND LATERALS, SHALL BE INSTALLED AND BACKFILL COMPLETED PRIOR TO THE START OF CURB, SIDEWALK AND PAVING CONSTRUCTION.
- ALL CONSTRUCTION STAKING SHALL INCLUDE, BUT NOT BE LIMITED TO, GRADING, CURBS, STREET IMPROVEMENTS AND STORM DRAINS, AND SHALL BE PERFORMED BY A REGISTERED CIVIL ENGINEER OR LICENSED SURVEYOR.
- ALL TRENCH BACKFILL SHALL BE COMPACTED AS SHOWN IN CITY STANDARD PLANS OR AS RECOMMENDED BY THE SOILS ENGINEER. IF TESTS SHOW THAT THE ACTUAL COMPACTION HAS NOT EQUALED OR SURPASSED THAT WHICH IS RECOMMENDED, THE SOILS ENGINEER SHALL PROVIDE THE PROPOSED ACTION TO BE TAKEN.
- PARKING LOTS SHALL BE CONSTRUCTED IN CONFORMANCE WITH CITY PARKING DESIGN STANDARDS. ACCESSIBLE STALLS, RAMPS, LOADING AND UNLOADING PLATFORMS INCLUDING FOR VANS, SLOPE AND GRADE OF RAMPS, LANDINGS AND STALLS, SIGNS, STRIPING, LOGO, WIDTH OF LANDINGS AND SUCH DETAILS AS ARE REQUIRED SHALL COMPLY WITH APPLICABLE STATE STANDARDS.
- ANY DAMAGED OR DISPLACED CURB, GUTTER, SIDEWALK, DRIVEWAY OR PAVEMENT SHALL BE REMOVED AND REPLACED EVEN IF DAMAGE OR DISPLACEMENT OCCURRED PRIOR TO CONSTRUCTION.
- ALL STORM DRAIN INLETS SHALL HAVE INSTALLED THE CITY'S CLEAN WATER PROGRAM NPDES MEDALLION PER CITY STANDARD PLAN 30-9 PRIOR TO THE ACCEPTANCE OR THE FINAL BUILDING INSPECTION, WHICHEVER OCCURS FIRST.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY PUBLIC SAFETY DEVICES IN ACCORDANCE WITH CURRENT MUTCD TRAFFIC CONTROL STANDARDS INCLUDING, BUT NOT LIMITED TO, LIGHTS, SIGNS, BARRICADES, AND FLAG PERSONS. IN ADDITION, TEMPORARY FENCING SHALL BE PROVIDED ALONG ALL PROPERTY LINES AS DIRECTED BY THE CITY.
- IRRIGATION BACKFILL COVER REQUIREMENTS ARE 18" FOR MAIN LINES AND 12" FOR LATERAL LINES. MAIN LINES SHALL BE PRESSURE TESTED AT 125 PSI FOR 4 HOURS PRIOR TO BACKFILL. A STATIC PRESSURE TEST IS REQUIRED FOR LATERAL LINES. MAIN LINES SHALL NOT BE PLACED IN THE PUBLIC RIGHT OF WAY.
- PRIOR TO ISSUANCE OF ANY PERMITS, THE DEVELOPER SHALL SUBMIT A WASTE MANAGEMENT PLAN DEMONSTRATING HOW THEY INTEND TO RECYCLE, REUSE OR SALVAGE BUILDING MATERIALS AND OTHER DEBRIS (INCLUDING DIRT) GENERATING FROM DEMOLITION OF EXISTING STRUCTURES AND FROM CONSTRUCTION OF THE PROJECT. PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT, THE DEVELOPER SHALL SUBMIT A COMPLETED WASTE MANAGEMENT SUMMARY REPORT DOCUMENTING ACTUAL DEBRIS RECOVERY EFFORTS, INCLUDING QUANTITIES OF RECOVERED AND LANDFILLED MATERIALS, THAT OCCURRED THROUGHOUT THE PROJECT'S DURATION.

PRELIMINARY SITE DEVELOPMENT PLAN

240 "G" STREET

CITY OF DAVIS
COUNTY OF YOLO
STATE OF CALIFORNIA

DEVELOPER

JOHN ELDY
JOHNELDY77@GMAIL.COM
(925) 698-1708

CIVIL ENGINEER

APEX CIVIL ENGINEERING & LAND SURVEYING
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MARTINEZ, CA 94553
(925) 476-8499

ARCHITECT

LCA ARCHITECTS
590 YGNACRO VALLEY ROAD, SUITE 310
WALNUT CREEK, CA 94596
(925) 944-1626

LANDSCAPE ARCHITECT

CAMP & CAMP ASSOCIATES
2520 CAMINO DIABLO
WALNUT CREEK, CA 94597
(925) 941-6490

BENCHMARK

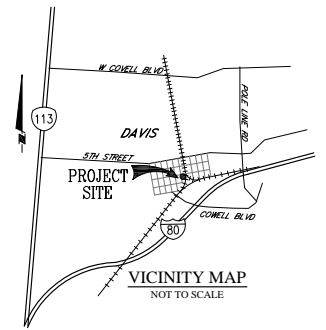
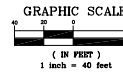
USGS BENCHMARK N-128 BRASS DISK IN WALL OF UNDERPASS FOR RICHARDS BOULEVARD AND RAILROAD CROSSING.
ELEVATION=39.77 (NAVD 88)

BASIS OF BEARINGS

BEARINGS ARE BASED ON THE NORTHERLY RIGHT OF WAY LINE OF THIRD STREET AS SHOWN ON THE RECORD OF SURVEY 2021 MAPS PAGE 19 TAKEN AS NORTH 76°45'00" EAST BETWEEN FOUND MARKERS

FEMA DESIGNATION

THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR THE CITY OF DAVIS, CALIFORNIA, AND IS LOCATED IN ZONE "X" AS SHOWN ON THE FEDERAL FLOOD INSURANCE RATE MAP, COMMUNITY PANEL 0810 FOR COMMUNITY NUMBER 060424 (CITY OF DAVIS) DATED 6/16/2010 (06113C06110)



PUBLIC WORKS ENGINEERING & TRANSPORTATION
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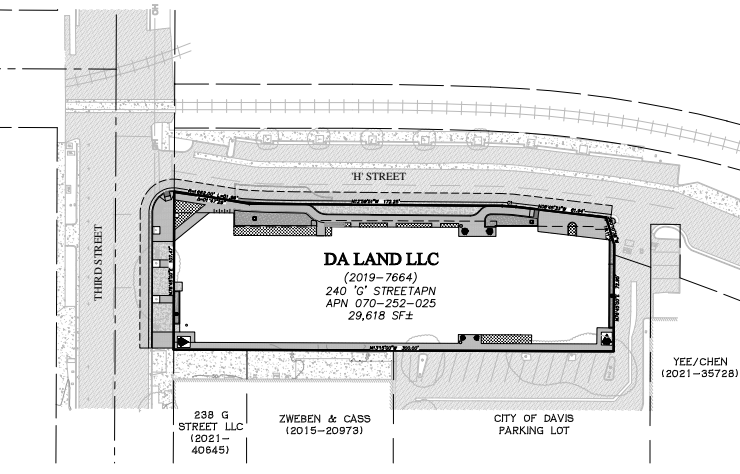
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info@apexce.net

NO.	REVISIONS	NO.	BY	DATE	DESIGN: JV	PROJECT #
					DRAWN: STAFF	2300
					CHECKED: JV	



PRELIMINARY SITE DEVELOPMENT PLAN
TITLE SHEET
240 "G" STREET
DAVIS, CA

SHEET
C1 of 8
DATS
10-13-2023



LEGEND

[Symbol]	LOT BOUNDARY
[Symbol]	RIGHT-OF-WAY
[Symbol]	ADJACENT PROPERTY LINE
[Symbol]	NEW BUILDING
[Symbol]	EXISTING BUILDING
[Symbol]	EX. ASPHALT
[Symbol]	NEW ASPHALT
[Symbol]	NEW CONCRETE
[Symbol]	NEW STAMPED CONCRETE
[Symbol]	LANDSCAPE AREA
[Symbol]	BIO-RETENTION PLANTER
[Symbol]	FINISHED GRADE SLOPE
[Symbol]	DIRECTION OF DRAINAGE FLOW
[Symbol]	EX. TREE
[Symbol]	STORM DRAIN LINE

DIAL TOLL FREE
1 800 227 2600
AT LEAST TWO DAYS
BEFORE YOU DIG

UNDERGROUND SERVICE ALERT OF NORTHERN CALIFORNIA

NOTE:
THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES DURING CONSTRUCTION. CALL USA - 811 AT LEAST 48 HOURS BEFORE DIGGING. HAND DIG NEAR UNDERGROUND UTILITIES.

SITE PLAN
SCALE: 1"=40'

SHEET INDEX

SHEET No.	DESCRIPTION
C1	TITLE SHEET
C2	TOPOGRAPHIC SURVEY, DEMOLITION & TREE PRESERVATION PLAN
C3	SECTIONS & DETAILS
C4	PRELIMINARY DIMENSIONED SITE PLAN & UTILITY SYSTEM MAP
C5-C6	PRELIMINARY ON-SITE GRADING, DRAINAGE & UTILITY PLAN
C7	PRELIMINARY STORM WATER CONTROL PLAN
C8	PRELIMINARY EROSION CONTROL PLAN

240 "G" STREET - PRELIMINARY SITE DEVELOPMENT PLAN - 10-13-2023

TOPOGRAPHIC SURVEY, DEMOLITION & TREE PRESERVATION PLAN

240 "G" STREET

CITY OF DAVIS
COUNTY OF YOLO
STATE OF CALIFORNIA

BENCHMARK

USGS BENCHMARK N-128 BRASS DISK IN WALL OF UNDERPASS FOR RICHARDS BOULEVARD AND RAILROAD CROSSING.
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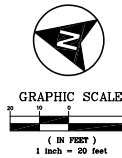
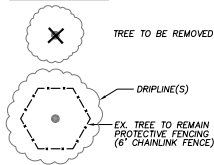
BASIS OF BEARINGS

BEARINGS ARE BASED ON THE NORTHERLY RIGHT OF WAY LINE OF THIRD STREET AS SHOWN ON THE RECORD OF SURVEY 2021 MAPS PAGE 19 TAKEN AS NORTH 76°45'00" EAST BETWEEN FOUND MARKERS

SURVEYOR & DATE OF WORK

THIS TOPOGRAPHIC SURVEY WAS PERFORMED BY APEX CIVIL ENGINEERING & LAND SURVEYING, INC. IN MAY OF 2023.

LEGEND



DEVELOPER

JOHN EUDY
JOHNEUDY77@GMAIL.COM
(925) 698-1708

DEMOLITION KEY LEGEND

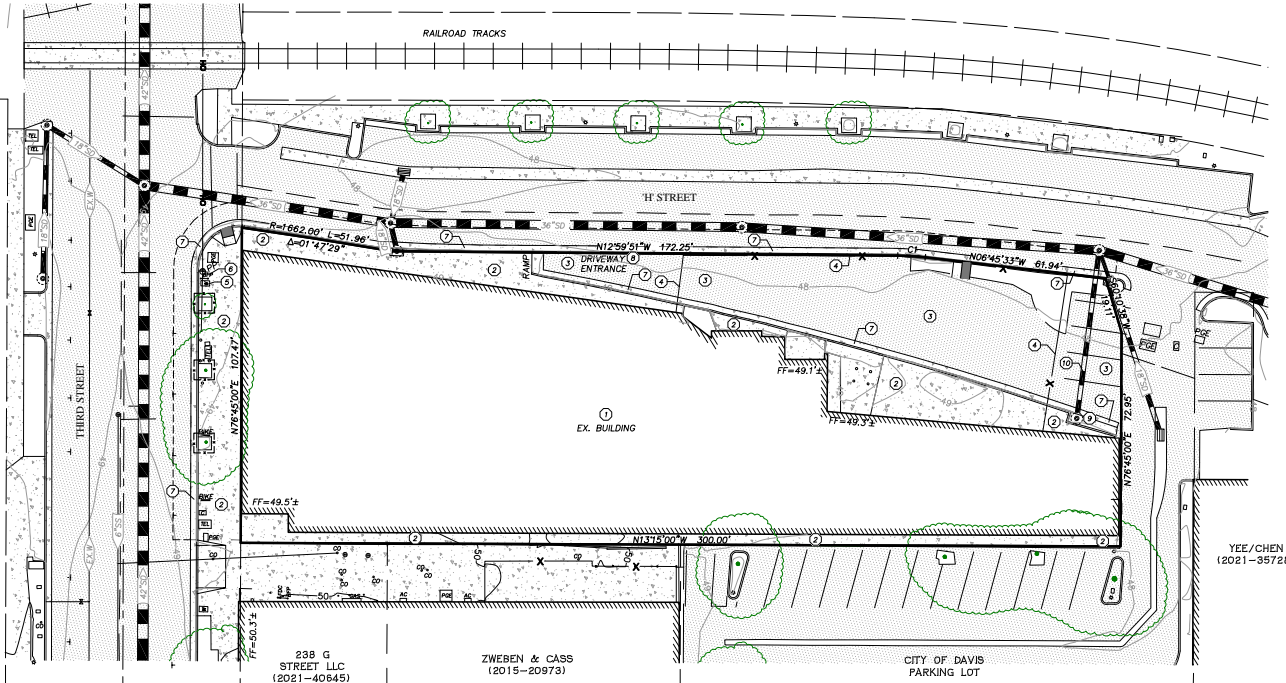
- ① EXISTING BUILDING/STRUCTURE TO BE REMOVED
- ② EXISTING CONCRETE TO BE REMOVED
- ③ EXISTING ASPHALT TO BE REMOVED
- ④ EXISTING FENCE TO BE REMOVED
- ⑤ EXISTING WATER METER TO BE REMOVED (TO BE REPLACED)
- ⑥ EXISTING WATER BACKFLOW PREVENTER TO BE REMOVED (TO BE REPLACED)
- ⑦ EXISTING CURB AND GUTTER TO BE REMOVED
- ⑧ EXISTING DRIVEWAY APPROACH TO BE REMOVED
- ⑨ EXISTING CATCH BASIN TO BE REMOVED
- ⑩ EXISTING STORM DRAIN PIPE TO BE REMOVED

TREE PRESERVATION NOTES

- THE CONSTRUCTION SUPERINTENDENT SHALL MEET WITH THE CITY ARBORIST BEFORE BEGINNING WORK TO DISCUSS WORK PROCEDURES AND TREE PROTECTION.
- FENCE TREES TO ENCLOSE THE TREE PROTECTION ZONE. FENCE SHALL BE 6" CHAINLINK FENCE. FENCES ARE TO REMAIN UNTIL ALL GRADING AND CONSTRUCTION IS COMPLETED.
- PROTECTION FENCING SHALL EXTEND TO THE DRIPLINE OF THE PROTECTED TREES.
- NO GRADING, CONSTRUCTION, DEMOLITION OR OTHER WORK SHALL OCCUR WITHIN THE TREE PROTECTION ZONE. ANY MODIFICATIONS MUST BE APPROVED AND MONITORED BY THE CITY ARBORIST.
- GRADING WITHIN THE DRIPLINE OF ANY TREE SHALL BE MONITORED BY THE CITY ARBORIST.
- ANY ROOT PRUNING REQUIRED FOR CONSTRUCTION PURPOSES SHALL RECEIVE THE PRIOR APPROVAL OF, AND BE SUPERVISED BY, THE CITY ARBORIST.
- IF INJURY SHOULD OCCUR TO ANY TREE DURING CONSTRUCTION IT SHOULD BE EVALUATED AS SOON AS POSSIBLE BY THE CITY ARBORIST SO THAT APPROPRIATE TREATMENTS CAN BE APPLIED.
- NO EXCESS SOIL, CHEMICALS, DEBRIS, EQUIPMENT OR OTHER MATERIALS SHALL BE DUMPED OR STORED WITHIN THE TREE PROTECTION ZONE.
- ANY ADDITIONAL TREE PRUNING NEEDED FOR CLEARANCE DURING CONSTRUCTION MUST BE PERFORMED BY A CERTIFIED ARBORIST AND NOT BY CONSTRUCTION PERSONNEL.
- AS TREES WITHDRAW WATER FROM THE SOIL, EXPANSIVE SOILS MAY SHRINK WITHIN THE ROOT AREA. THEREFORE, FOUNDATIONS, FOOTINGS AND PAVEMENTS ON EXPANSIVE SOILS NEAR TREES SHOULD BE DESIGNED TO WITHSTAND DIFFERENTIAL PLACEMENT.

GENERAL DEMOLITION NOTES:

- DEMOLITION PERMIT IS REQUIRED PRIOR TO COMMENCEMENT OF DEMOLITION. A COPY OF THE DEMOLITION PERMIT IS REQUIRED TO BE ON SITE AT ALL TIMES.
- NOISE-PRODUCING CONSTRUCTION ACTIVITY (INCLUDING PLAYING OF RADIO OR MUSIC) AND GRADING OPERATION SHALL BE LIMITED TO WEEKDAYS (MONDAY THROUGH FRIDAY) EXCEPT CITY HOLIDAYS AND FROM THE HOURS OF 7:00AM TO 5:00PM, SATURDAY AND SUNDAY; NONE, AND SHALL BE PROHIBITED ON STATE AND FEDERAL HOLIDAYS. ALL EQUIPMENT SHALL BE ADEQUATELY MUFFLED AND MAINTAINED. NO CHANGES SHALL BE ALLOWED WITHOUT PRIOR WRITTEN CONSENT OF THE CITY. ALL REQUESTS FOR CHANGES MUST BE MADE A MINIMUM OF 72 HOURS PRIOR TO THE REQUEST FOR CHANGE.
- THE CONSTRUCTION CONTRACTOR AGREES, THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND DEFEND, INDEMNIFY AND HOLD THE DESIGN PROFESSIONAL AND CITY HARMLESS FROM ANY AND ALL LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
- THE CONTRACTOR SHALL PROVIDE EMERGENCY TELEPHONE NUMBERS FOR PUBLIC WORKS, AMBULANCE, POLICE, AND FIRE DEPARTMENTS AT THE JOB SITE.
- THE CONTRACTOR SHALL CONTROL DUST BY WATERING EXPOSED SURFACES AS NEEDED. INCREASED WATERING SHALL BE REQUIRED WHEN WIND SPEEDS EXCEED 10 MPH.
- THE PROJECT APPLICANT SHALL SWEEP STREETS DAILY, OR AS NECESSARY, WITH WATER SWEEPERS IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY CONSTRUCTION DRIVES TO PREVENT THE TRACKING OF SOIL, DUST, MUD, OR CONSTRUCTION DEBRIS ON PUBLIC STREETS.
- MUD TRACKED ONTO STREETS OR ADJACENT PROPERTIES SHALL BE REMOVED IMMEDIATELY. STREET SHALL BE SWEEPED WITH A POWER SWEEPER (NOT PRESSURE WASHED) AS DIRECTED BY THE CITY.
- ALL WATER, SEWER, ELECTRIC, GAS, CABLE & PHONE SERVICES/LATERALS SHALL BE REMOVED BACK TO THE APPROPRIATE UTILITY MAIN.



YEE/CHEN
(2021-35728)

238 G STREET LLC
(2021-40645)

ZWEBEN & CASS
(2015-20973)

CITY OF DAVIS
PARKING LOT

Davis
california

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NO.	REVISIONS	NO.	BY	DATE	DESIGN:	JV
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					PROJECT #:	23030

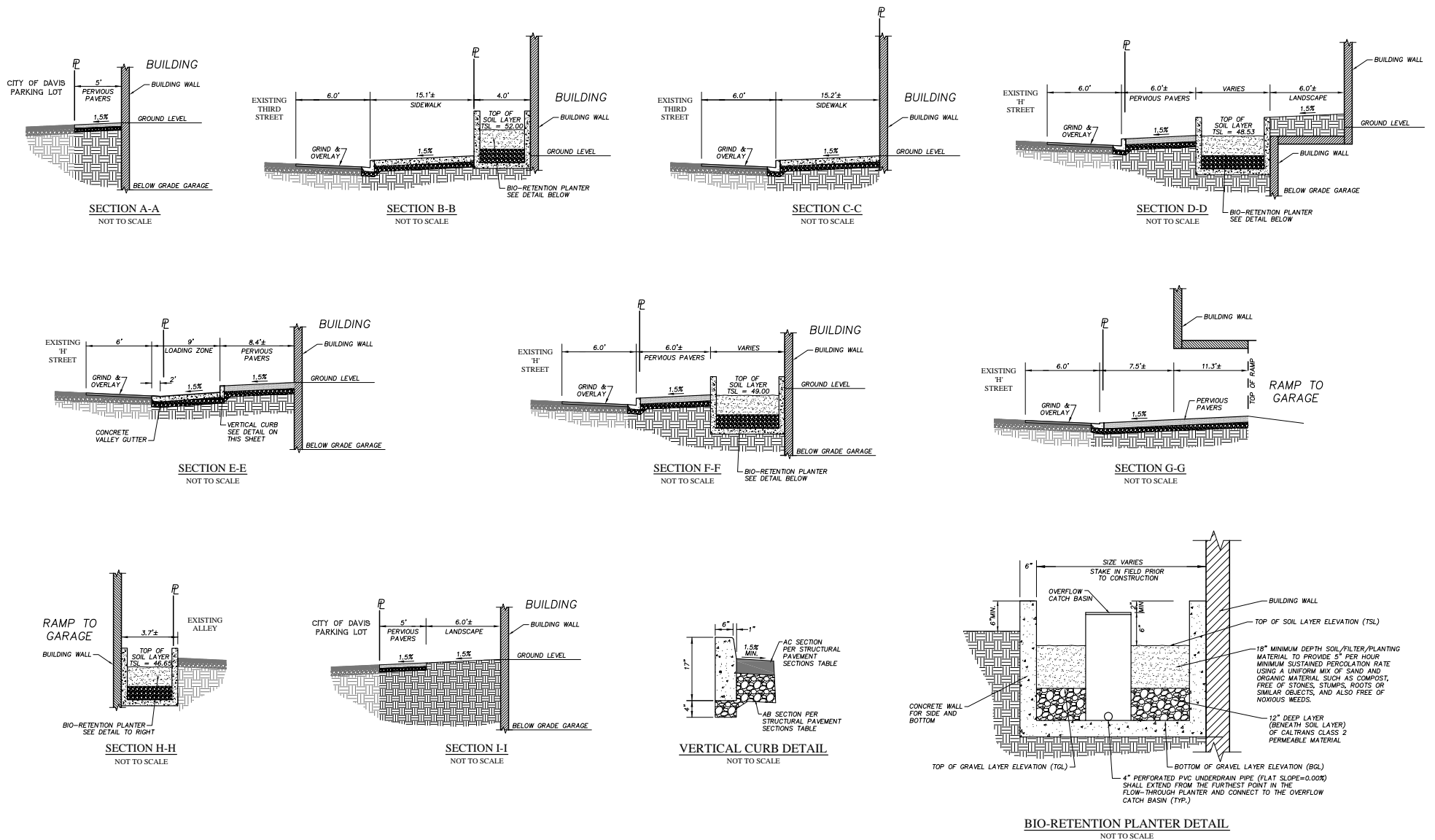


PRELIMINARY SITE DEVELOPMENT PLAN
TOPOGRAPHIC SURVEY, DEMOLITION & TREE PRESERVATION PLAN

240 'G' STREET
DAVIS, CA

SHEET
C2 of 8

DATE
10-13-2023



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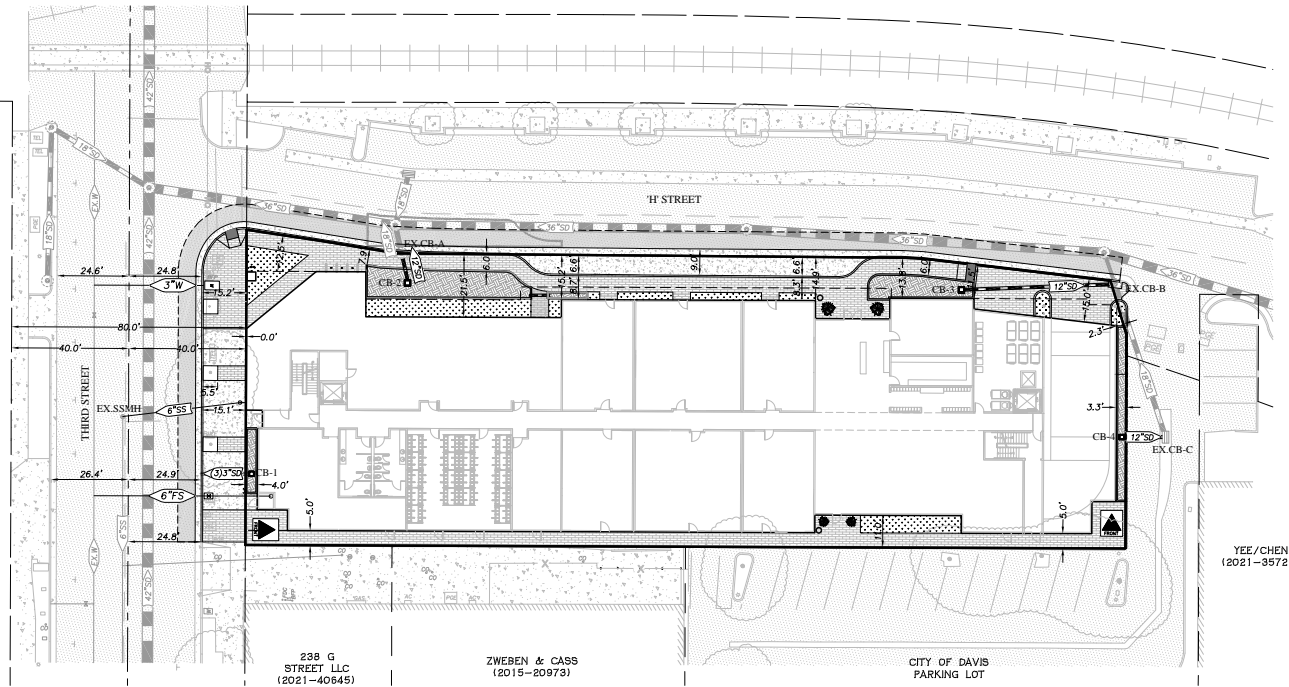
PRELIMINARY DIMENSIONED SITE PLAN & UTILITY SYSTEM MAP

240 "G" STREET

CITY OF DAVIS
COUNTY OF YOLO
STATE OF CALIFORNIA



GRAPHIC SCALE
(IN FEET)
1 inch = 20 feet



YEE/CHEN
(2021-35728)

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CITY OF DAVIS
PARKING LOT

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PRELIMINARY SITE DEVELOPMENT PLAN
PRELIMINARY DIMENSIONED SITE PLAN & UTILITY SYSTEM MAP
240 "G" STREET
DAVIS, CA

SHEET
C4 of 8
DATE
10-13-2023

PRELIMINARY ON-SITE GRADING, DRAINAGE & UTILITY PLAN

240 "G" STREET

CITY OF DAVIS
COUNTY OF YOLO
STATE OF CALIFORNIA

FRONTAGE IMPROVEMENTS NOTE:
ALL FRONTAGE IMPROVEMENTS SHALL BE INSTALLED TO THE CURRENT CITY OF DAVIS STANDARDS AND SPECIFICATIONS.

EXISTING UTILITIES NOTE:
ALL EXISTING UTILITY LATERALS (WATER, SEWER) AND SERVICES (CABLE, PHONE, GAS, ELECTRICAL) SHALL BE REMOVED BACK TO THE ASSOCIATED MAIN OR TRENCH. NEW SERVICES SHALL BE INSTALLED PER PLAN.

SECTIONS NOTE:
REFER TO SHEET C3
FOR ALL SECTIONS & DETAILS



GRAPHIC SCALE
(1 INCH = 10 FEET)

DRAINAGE SYSTEM SUMMARY

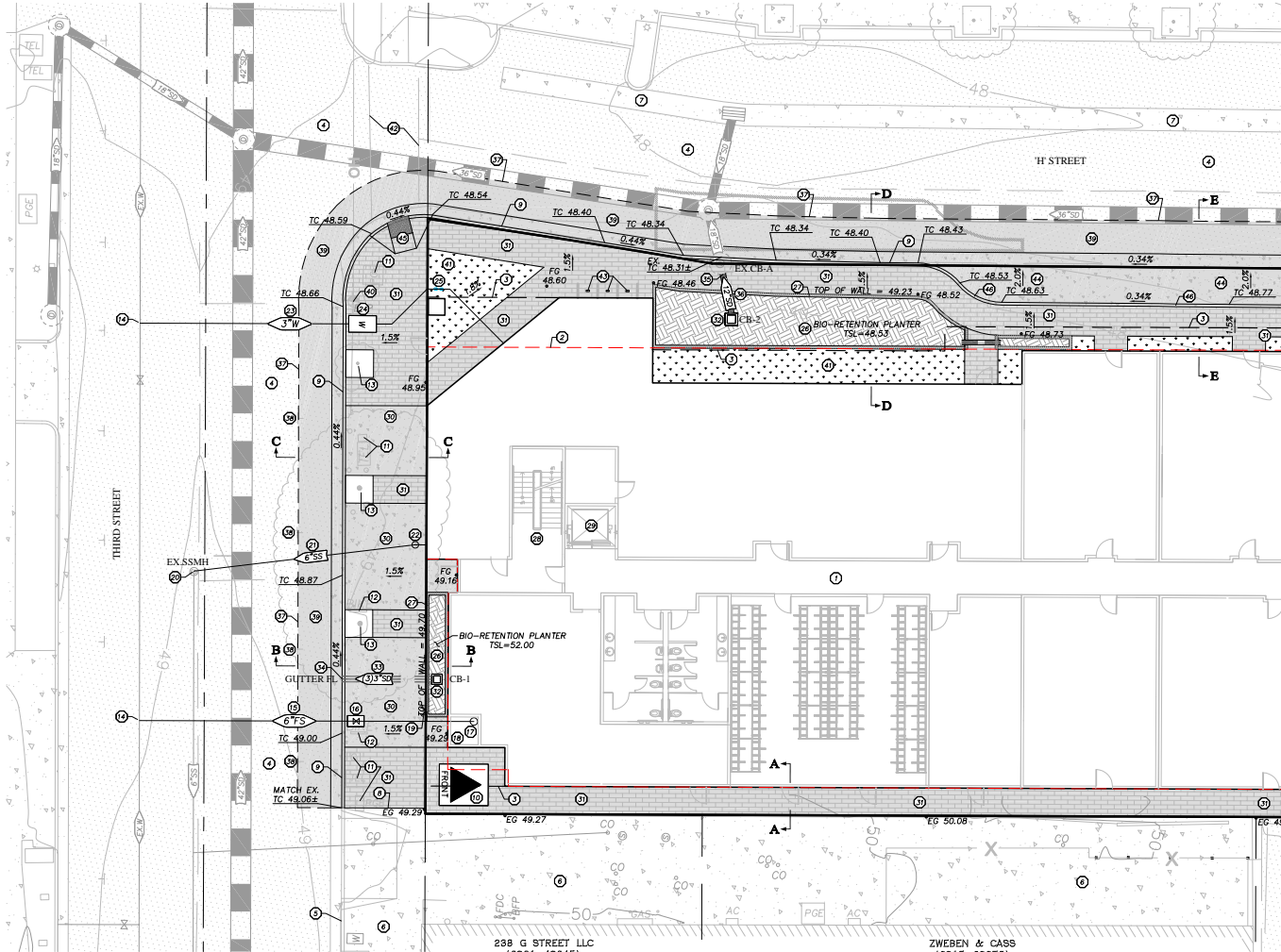
STRUCTURE #	GRATERIM ELEVATION	FLOW LINE ELEVATION
GUTTER FL	N/A	(3) 3" 48.46 IN
CB-1	G 51.81	(3) 3" 48.81 OUT
EX. CB-A	TC 48.31	EX. 12" 44.76 IN & EX. 18" 44.26 OUT
CB-2	G 49.03	12" 46.03 OUT

KEY LEGEND

- ① BUILDING. SEE ARCHITECTURAL PLANS
- ② LIMIT OF GARAGE BELOW. SEE ARCHITECTURAL PLANS
- ③ LIMIT OF ROOF ABOVE. SEE ARCHITECTURAL PLANS
- ④ EXISTING PAVEMENT TO REMAIN
- ⑤ EXISTING CURB & GUTTER TO REMAIN
- ⑥ EXISTING SIDEWALK/CONCRETE FLATWORK TO REMAIN
- ⑦ EXISTING CONCRETE VALLEY GUTTER TO REMAIN
- ⑧ MATCH EXISTING CURB & GUTTER. MATCH SIDEWALK AT NEAREST EXISTING JOINT
- ⑨ STANDARD CURB & GUTTER PER COD STD DET 301-1
- ⑩ TRANSFORMER (TYP). SEE JOINT TRENCH PLANS
- ⑪ EXISTING UTILITY BOX TO REMAIN. ADJUST TO GRADE AS NEEDED
- ⑫ BIKE RACK TO BE REMOVED. SEE NEW BIKE RACKS AT ⑬
- ⑬ 5" x 5" TREE WELL WITH EXISTING TREE TO REMAIN. SEE LANDSCAPE PLANS
- ⑭ CONNECT TO EXISTING WATER MAIN
- ⑮ 6" FIRE SERVICE LATERAL
- ⑯ FIRE SERVICE METER
- ⑰ DOUBLE DETECTOR CHECK VALVE IN FIRE RISER ROOM
- ⑱ FIRE RISER ROOM
- ⑲ FIRE DEPARTMENT CONNECTION
- ⑳ CONNECT TO EX. SANITARY SEWER MANHOLE
- ㉑ 6" SANITARY SEWER LATERAL @ S=2% MIN.
- ㉒ 6" SANITARY SEWER CLEANOUT
- ㉓ 3" WATER SERVICE LATERAL
- ㉔ WATER METER
- ㉕ REDUCER PRESSURE BACKFLOW DEVICE
- ㉖ BIO-RETENTION PLANTER. SEE DETAIL ON SHEET C3
- ㉗ BIO-RETENTION PLANTER PERIMETER WALL (TYP)
- ㉘ STAIRWELL
- ㉙ ELEVATOR
- ㉚ CONCRETE SIDEWALK (TYP)
- ㉛ PERVIOUS PAVER (TYP). SEE LANDSCAPE PLANS
- ㉜ CHRISTY W4 (18"x18") DRAIN BOX WITH GRATE (OR EQUAL)
- ㉝ INSTALL (3) 3" PVC (SDR-35) PIPE AT S=1.5%
- ㉞ THRU-CURB DRAIN (TYP)
- ㉟ CONNECT TO EXISTING CATCH BASIN
- ⓫ INSTALL NEW 12" HOPE PIPE @ S=0.5% MIN.
- ⓬ SAWCUT LINE (TYP)
- ⓭ REPLACE PARALLEL CURB PARKING STRIPING PER CITY STANDARD (TYP)
- ⓮ GRIND AND OVERLAY EXISTING PAVEMENT FROM STREET CENTERLINE TO NEW GUTTER LIP OR PER DIRECTION OF CITY ENGINEER
- ⓯ EXISTING POWER POLE TO REMAIN
- ⓰ LANDSCAPE AREA
- ⓱ CROSSWALK STRIPING
- ⓲ BICYCLE RACKS (TYP)
- ⓳ CONCRETE LOADING ZONE. PAINT "LOADING ZONE" ON CURB
- ⓴ CURB RAMP. MAX 8.3% SLOPE
- ⓵ 6" VERTICAL CURB



NOTE:
THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES DURING CONSTRUCTION.



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PRELIMINARY SITE DEVELOPMENT PLAN
PRELIMINARY ON-SITE GRADING, DRAINAGE & UTILITY PLAN
240 "G" STREET
DAVIS, CA

SHEET
C5 of 8
DATE
10-13-2023

PRELIMINARY ON-SITE GRADING, DRAINAGE & UTILITY PLAN

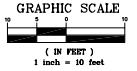
240 "G" STREET

CITY OF DAVIS
COUNTY OF YOLO
STATE OF CALIFORNIA

FRONTAGE IMPROVEMENTS NOTE:
ALL FRONTAGE IMPROVEMENTS SHALL BE INSTALLED TO THE CURRENT CITY OF DAVIS STANDARDS AND SPECIFICATIONS.

EXISTING UTILITIES NOTE:
ALL EXISTING UTILITY LATERALS (WATER, SEWER) AND SERVICES (CABLE, PHONE, GAS, ELECTRICAL) SHALL BE REMOVED BACK TO THE ASSOCIATED MAIN OR TRENCH. NEW SERVICES SHALL BE INSTALLED PER PLAN.

SECTIONS NOTE:
REFER TO SHEET C3
FOR ALL SECTIONS & DETAILS

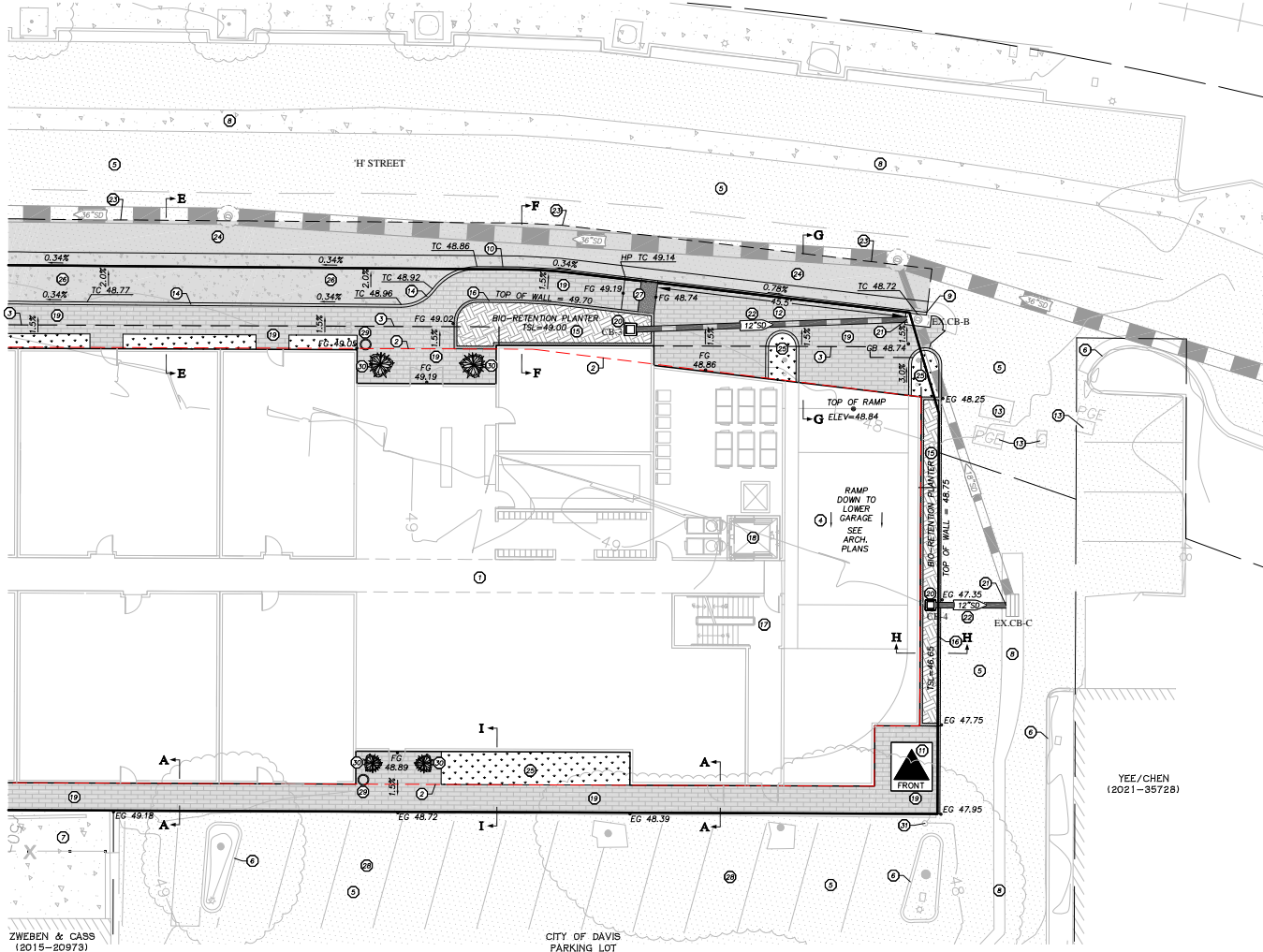


DRAINAGE SYSTEM SUMMARY

STRUCTURE #	GRATERIM ELEVATION	FLOW LINE ELEVATION
EX-CB-B	TC 48.72	12" 43.87 IN & EX.18" 43.37 THRU
CB-3	G 49.50	12" 46.50 OUT
EX-CB-C	G 47.24	12" 43.94 IN & EX.18" 43.94 OUT
CB-4	G 47.15	12" 44.15 OUT

KEY LEGEND

- ① BUILDING. SEE ARCHITECTURAL PLANS
- ② LIMIT OF GARAGE BELOW. SEE ARCHITECTURAL PLANS
- ③ LIMIT OF ROOF ABOVE. SEE ARCHITECTURAL PLANS
- ④ RAMP DOWN TO LOWER LEVEL GARAGE. SEE ARCHITECTURAL PLANS
- ⑤ EXISTING PAVEMENT TO REMAIN
- ⑥ EXISTING CURB & GUTTER TO REMAIN
- ⑦ EXISTING SIDEWALK/CONCRETE FLATWORK TO REMAIN
- ⑧ EXISTING CONCRETE VALLEY GUTTER TO REMAIN
- ⑨ MATCH EXISTING CURB & GUTTER. MATCH SIDEWALK AT NEAREST EXISTING JOINT
- ⑩ STANDARD CURB & GUTTER PER COD STD DET 301-1
- ⑪ TRANSFORMER (TYP). SEE JOINT TRENCH PLANS
- ⑫ 45.5" WIDE TYPE 1 DRIVEWAY PER COD STD DET 301-4
- ⑬ EXISTING UTILITY BOX TO REMAIN
- ⑭ 6" VERTICAL CURB
- ⑮ BIO-RETENTION PLANTER. SEE DETAIL ON SHEET C3
- ⑯ BIO-RETENTION PLANTER PERIMETER WALL (TYP)
- ⑰ STAIRWELL
- ⑱ ELEVATOR
- ⑲ PERVIOUS PAVER (TYP). SEE LANDSCAPE PLANS
- ⑳ CHRISTY V64 (18"x18") DRAIN BOX WITH GRATE (OR EQUAL)
- ㉑ CONNECT TO EXISTING CATCH BASIN
- ㉒ INSTALL NEW 12" HDPE PIPE @ S=0.5% MIN.
- ㉓ SAWCUT LINE (TYP)
- ㉔ GRIND AND OVERLAY EXISTING PAVEMENT TO NEW GUTTER LIP
- ㉕ LANDSCAPE AREA
- ㉖ CONCRETE LOADING ZONE. PAINT "LOADING ZONE" ON CURB
- ㉗ CURB RAMP. MAX 8.3% SLOPE
- ㉘ EXISTING PARKING LOT TO REMAIN
- ㉙ TRASH RECEPTACLE
- ㉚ POTTED PLANT
- ㉛ EXISTING PG&E METER PEDESTAL TO BE RELOCATED AS NEEDED



YEE/CHEN
(2021-35728)

ZWEBEN & CASS
(2015-20973)

CITY OF DAVIS
PARKING LOT

NOTE:
DIAL TOLL FREE
1 800 227 2600
AT LEAST TWO DAYS
BEFORE YOU DIG
UNDERGROUND SERVICE ALERT OF NORTHERN CALIFORNIA

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PRELIMINARY SITE DEVELOPMENT PLAN
PRELIMINARY ON-SITE GRADING, DRAINAGE & UTILITY PLAN
240 "G" STREET
DAVIS, CA

SHEET
C6 of 8
DATE
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PRELIMINARY STORM WATER CONTROL PLAN

240 "G" STREET

CITY OF DAVIS
COUNTY OF YOLO
STATE OF CALIFORNIA

STORMWATER CONTROL PLAN LEGEND:

DRAINAGE MANAGEMENT AREAS (DMA):

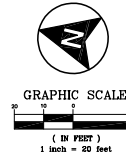
LANDSCAPE AREA	
SELF-TREATING PERVIOUS AREA (PAVERS)	ST
NEW IMPERVIOUS AREA (PAVEMENT/CONCRETE)	P / C
NEW IMPERVIOUS AREA (ROOFTOP)	R
UNTREATED AREA	UT
BIO-RETENTION AREA	BR-1

BMP TRIBUTARY BOUNDARY:

BASMAA STORMWATER COMPLIANCE
REFER TO STORM WATER CONTROL PLAN REPORT FOR ADDITIONAL INFORMATION.

BIO-RETENTION AREA SUMMARY

IMP AREA NAME	DMA NAME	DMA AREA (SF)	DMA RUNOFF FACTOR	DMA AREA * RUNOFF FACTOR	IMP SIZING FACTOR	REQUIRED IMP AREA (SF)	PROPOSED IMP AREA (SF)
BR-1	R1	1,600	1.0	1,600	0.04	64	65
BR-2	R2	12,340	1.0	12,340	0.04	494	496
BR-3	R3	5,825	1.0	5,825	0.04	233	235
BR-4	R4	3,960	1.0	3,960	0.04	158	160



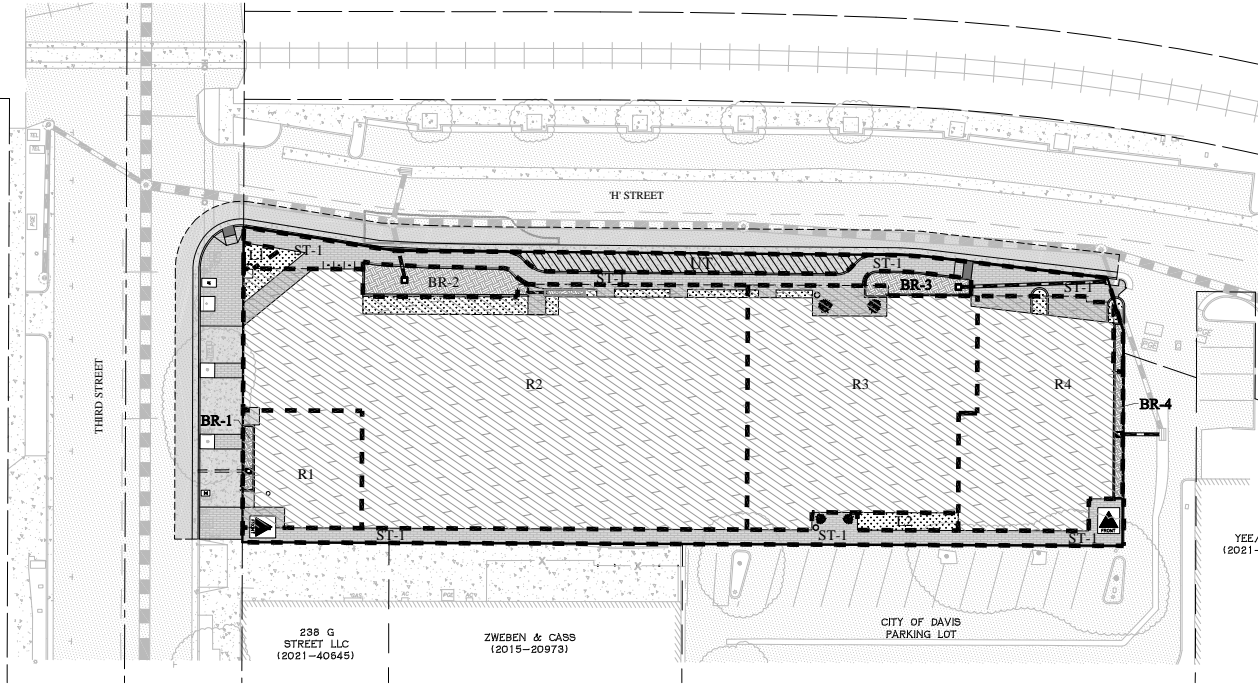
ABBREVIATIONS
BR - BIO-RETENTION AREA
C - CONCRETE
L - LANDSCAPE AREA
P - ASPHALT PAVEMENT
R - ROOFTOP
ST - SELF-TREATING AREA

PROJECT DATA FORM

PROJECT NAME/NUMBER	240 "G" STREET
PROJECT LOCATION	240 "G" STREET DAVIS, CA
NAME OF DEVELOPER	JOHN EUDY
PROJECT TYPE AND DESCRIPTION	126 UNITS (MIXED USE RESIDENTIAL)
PROJECT WATERSHED	PUTAH CREEK WATERSHED
TOTAL PROJECT SITE AREA (ACRES)	0.68 ACRES (29,618 SF)
TOTAL NEW IMPERVIOUS SURFACE AREA (SQ. FT.)	177 SF
TOTAL REPLACED IMPERVIOUS SURFACE AREA	24,278 SF
TOTAL PRE-PROJECT IMPERVIOUS SURFACE AREA	29,021 SF
TOTAL POST-PROJECT IMPERVIOUS SURFACE AREA	24,455 SF
RUNOFF REDUCTION MEASURES SELECTED	<input checked="" type="checkbox"/> 1. DISPERSE RUNOFF TO VEGETATED AREA <input type="checkbox"/> 2. PERVIOUS PAVEMENT (PAVERS) <input type="checkbox"/> 3. CISTERNS OR RAIN BARRELS <input checked="" type="checkbox"/> 4. BIO-RETENTION FACILITY OR PLANTER BOX

BIO-RETENTION AREA NOTES:

- BIO-RETENTION AREAS ARE DESIGNED AND SHALL BE CONSTRUCTED ACCORDING TO THE CRITERIA DESCRIBED IN THE BASMAA POST-CONSTRUCTION MANUAL (JANUARY 2019). (APPENDIX B):
- VOLUME AND DEPTH OF SURFACE RESERVOIR MEETS OR EXCEEDS MINIMUM.
 - 18" MINIMUM DEPTH SOIL/FILTER/PLANTING MATERIAL TO PROVIDE 5" PER HOUR MINIMUM SUSTAINED PERCOLATION RATE USING A UNIFORM MIX OF SAND AND ORGANIC MATERIAL SUCH AS COMPOST, FREE OF STONES, STUMPS, ROOTS OR SIMILAR OBJECTS, AND ALSO FREE OF NOXIOUS WEEDS.
 - AREA OF SOIL MIX MEETS OR EXCEEDS MINIMUM.
 - PERFORATED PIPE (PVC SDR 35 OR APPROVED EQUIVALENT) UNDER DRAIN BEDDED IN CALTRANS "CLASS 2 PERM" WITH HOLES FACING DOWNWARD. CONNECTION AND SUFFICIENT HEAD TO STORM DRAIN OR DISCHARGE POINT.
 - NO FILTER FABRIC TO BE USED.
 - UNDER DRAIN HAS A CLEAN-OUT PORT CONSISTING OF A VERTICAL, RIGID, NON-PERFORATED PVC PIPE, WITH A MINIMUM DIAMETER OF 4 INCHES AND A WATERTIGHT CAP, OR APPROVED EQUIVALENT.
 - LOCATION OF THE FOOTPRINT OF FACILITY ARE SHOWN ON THE SITE PLAN, LANDSCAPING PLAN, AND GRADING PLAN.
 - BIO-RETENTION AREA IS DESIGNED AS A BASIN (LEVEL EDGES) OR A SERIES OF BASINS, AND GRADING PLAN IS CONSISTENT WITH THESE ELEVATIONS.
 - INLETS ARE TREATED WITH ENERGY DISSIPATION AS NEEDED.
 - OVERFLOW CONNECTED TO A DOWNSTREAM STORM DRAIN OR APPROVED DISCHARGE POINT.
 - EMERGENCY SPILLAGE WILL BE SAFELY CONVEYED OVERLAND.
 - PLANTINGS ARE SUITABLE TO THE CLIMATE, EXPOSURE, AND A WELL-DRAINED SOIL, AND OCCASIONAL IRRIGATION DURING LARGE STORM EVENTS.
 - IRRIGATION SYSTEM WITH CONNECTION TO WATER SUPPLY, ON A SEPARATE ZONE.
 - VAULTS, UTILITY BOXES, AND LIGHT STANDARDS ARE LOCATED OUTSIDE THE MINIMUM SOIL MIX SURFACE AREA.
 - WHEN EXCAVATING, AVOID SMEARING OF THE SOILS ON BOTTOM AND SIDE SLOPES. MINIMIZE COMPACTION OF NATIVE SOILS AND "TRIP" SOILS IF CLAYEY AND/OR COMPACTED. PROTECT THE AREA FROM CONSTRUCTION SITE RUNOFF.



Davis
california

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PRELIMINARY SITE DEVELOPMENT PLAN
PRELIMINARY STORM WATER CONTROL PLAN

240 "G" STREET DAVIS, CA

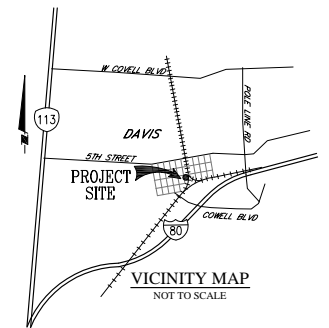
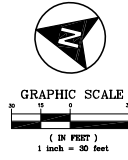
SHEET
C7 of 8

DATE
10-13-2023

PRELIMINARY EROSION CONTROL PLAN

240 "G" STREET

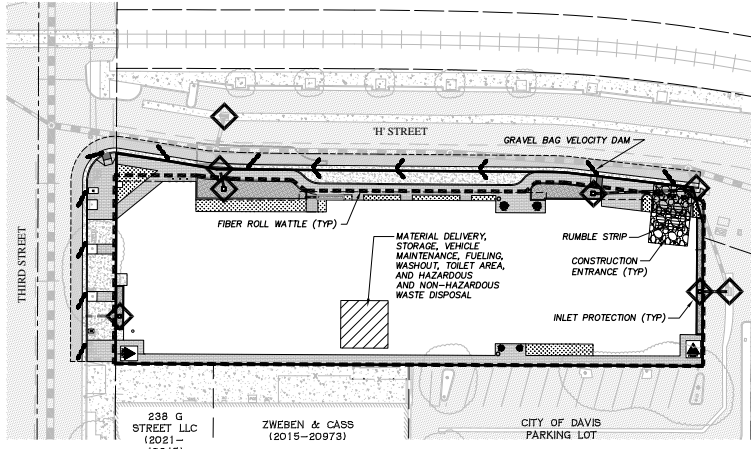
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COUNTY OF YOLO
STATE OF CALIFORNIA



EROSION CONTROL NOTES

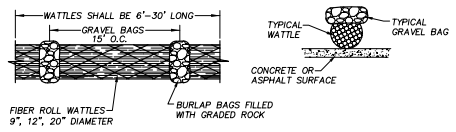
TEMPORARY EROSION CONTROL MEASURES EFFECTIVE DURING RAINY SEASON OCTOBER 1 TO APRIL 30

1. TEMPORARY EROSION CONTROL DEVICES SHOWN ON GRADING PLAN WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED WHEN THE INSPECTOR SO DIRECTS AS THE WORK PROGRESSES.
2. EXCEPT AS OTHERWISE DIRECTED BY THE INSPECTOR, ALL DEVICES SHOWN ON THE EROSION CONTROL PLAN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY. ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED AT THE END OF EACH WORKING DAY DURING THE RAINY SEASON AND MAINTAINED DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 30).
3. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PROVISIONS OF THE ASSOCIATION OF BAY AREA GOVERNMENTS (ABAG) "MANUAL OF STANDARDS FOR EROSION AND SEDIMENT CONTROL MEASURES" UNLESS OTHERWISE STATED WITHIN THESE GENERAL NOTES. CONTROL MEASURES ARE SUBJECT TO THE INSPECTION AND APPROVAL OF THE ENGINEERING DIVISION OF THE PUBLIC SERVICES DEPARTMENT. SCHEDULE AN ENGINEERING INSPECTION BY CALLING 925-943-5839 AT LEAST 48 HOURS PRIOR TO THE START OF ANY WORK.
4. ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON STARTING OPERATIONS AND PERIODICALLY THEREAFTER AS DIRECTED BY THE INSPECTOR. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAIN SYSTEM.
5. THE CONTRACTOR SHALL PLACE DRAIN ROCK AS A GRAVEL ROADWAY (6" MINIMUM THICKNESS FOR THE FULL WIDTH AND 50 FEET LONG) AT EACH ROAD ENTRANCE TO THE SITE. ANY MUD THAT IS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED THE SAME DAY AS REQUIRED BY THE CITY ENGINEER.
6. STAND-BY CREWS SHALL BE ALERTED BY THE PERMITTEE OR CONTRACTOR FOR EMERGENCY WORK DURING RAINSTORMS.
7. AFTER OCTOBER 1, ALL EROSION CONTROL MEASURES WILL BE INSPECTED DAILY AND AFTER EACH STORM. AFTER OCTOBER 1, BREACHES IN DIKES AND SWALES WILL BE REPAIRED AT THE CLOSE OF EACH DAY AND WHENEVER RAIN IS FORECAST.
8. AS A PART OF THE EROSION CONTROL MEASURES, UNDERGROUND STORM DRAIN FACILITIES AND CONCRETE SHALL BE INSTALLED COMPLETE AS SHOWN ON THE IMPROVEMENT PLANS.
9. ALL STORM DRAIN INLET STRUCTURES GREATER THAN FOUR FEET IN DEPTH SHALL HAVE STEPS INSTALLED PER THE LATEST ACCEPTED SAFETY STANDARDS. A 6" CONCRETE COVER SLAB SHALL BE INSTALLED OVER PIPE WITH LESS THAN 2.5 FEET OF COVER TO SUBGRADE. ALL PIPE TO BE CLASS II UNLESS OTHERWISE NOTED.
10. ALL GRADED AREAS, INCLUDING, BUT NOT LIMITED TO, CUT AND FILL SLOPES, STREETS, PARKING AREAS, AND BUILDING PADS SHALL BE HYDROSEEDED PER ABAG. IN ADDITION TO HYDROSEEDING, APPLICATION OF STRAW WITH A TACKIFIER OR MULCH MAY BE REQUIRED BY THE CITY ENGINEER.
11. IF ANY GRADING OPERATIONS, OTHER THAN LOT FINISH GRADING, ARE TO BE PERFORMED DURING THE RAINY SEASON, OCTOBER THROUGH APRIL 30, AN EROSION CONTROL PLAN MUST BE SUBMITTED BY SEPTEMBER 1 AND THE PLAN MUST BE APPROVED BY THE CITY OF WALNUT CREEK PRIOR TO THE COMMENCEMENT OF ANY SUCH GRADING OPERATIONS.
12. TO MINIMIZE EROSION OF GRADED BANKS, ALL GRADED BANKS STEEPER THAN 2X AND HIGHER THAN 3 FEET SHALL BE HYDROSEEDED, LANDSCAPED, OR SEALED. IN ADDITION TO HYDROSEEDING, APPLICATION OF STRAW WITH A TACKIFIER OR MULCH MAY BE REQUIRED BY THE CITY ENGINEER. IF THE PERMANENT STORM DRAIN SYSTEM IS NOT INSTALLED BY OCTOBER 1, TEMPORARY DITCHES SHALL BE CONSTRUCTED TO CONTAIN THE STORM WATER AND DIRECT IT IN A MANNER THAT AVOIDS EROSION OF THE BANKS, TO THE EROSION AND SEDIMENT CONTROL FACILITIES.
13. ALL CUT AND FILL SLOPES ARE TO BE PROTECTED TO PREVENT OVBANK FLOW USING 4" EARTH BERMS OR SILT FENCES.
14. ALL GRADED AREAS, INCLUDING, BUT NOT LIMITED TO, CUT AND FILL SLOPES, STREETS, PARKING AREAS, AND BUILDING PADS SHALL BE HYDROSEEDED PER CITY'S REQUIREMENT. SUGGESTED MIX DESIGN FOLLOWS:
 'BLANDFO' BROME 40 LBS/ACRE
 ZORRO FESCUE 10 LBS/ACRE
 HYKON ROSE CLOVER 9 LBS/ACRE
 SUB CLOVER 5 LBS/ACRE
 CALIFORNIA NATIVE WILDFLOWER 8 LBS/ACRE
 FERTILIZER 300 LBS/ACRE
 ORGANIC BINDER 100 LBS/ACRE
 STRAW MULCH 4000 LBS/ACRE
15. BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES TO THE SATISFACTION OF THE CITY ENGINEER.
16. SANDBAGS, STRAW WATTLES AND/OR STRAW BALES SHALL BE STOCKPILED ON SITE AND PLACED AT INTERVALS SHOWN ON EROSION CONTROL PLANS. WHEN THE RAIN FORECAST IS 40% OR GREATER, OR WHEN DIRECTED BY THE INSPECTOR.
17. SANDBAGS REFERRED TO IN THE PRECEDING ITEMS MUST BE FULL APPROVED SANDBAG FILL MATERIALS ARE DECOMPOSED GRANITE AND/OR GRAVEL, OR OTHER MATERIALS APPROVED BY THE INSPECTOR.
18. WHEN DIRECTED BY THE INSPECTOR, A 12-INCH BERM SHALL BE MAINTAINED ALONG THE TOP OF THE SLOPE OF THOSE FILLS ON WHICH GRADING IS NOT IN PROGRESS.
19. WHEN PAD ELEVATIONS OF ADJACENT LOTS OR ELEVATIONS BETWEEN THE STREET AND THE LOT ARE SEPARATED BY MORE THAN 6 FEET, A MINIMUM 12" BERM SHALL BE MAINTAINED ALONG THE PROPERTY LINE, SEPARATING THE LOTS, AND THE BERM SHALL DIRECT THE WATER TO THE OUTLET. VELOCITY CHECK DAMS SHALL BE INSTALLED BETWEEN THE OUTLET ON THE LOT AND THE STREET.
20. PROVIDE VELOCITY CHECK DAMS IN ALL UNPAVED STREETS AT THE INTERVALS INDICATED BELOW IN NOTE #21. VELOCITY CHECK DAMS MAY BE CONSTRUCTED OF STRAW BALES, SANDBAGS OR OTHER EROSION RESISTANT MATERIALS APPROVED BY THE INSPECTOR, AND SHALL EXTEND COMPLETELY ACROSS THE STREET OR CHANNEL AT RIGHT ANGLES TO THE CENTERLINE. EARTH DIKES MAY NOT BE USED AS VELOCITY CHECK DAMS.
21. PROVIDE VELOCITY CHECK DAMS IN ALL UNPAVED GRADED CHANNELS AT THE INTERVALS INDICATED BELOW:
 GRADE OF CHANNEL INTERVAL
 LESS THAN 3% 100 FEET
 3% TO 6% 50 FEET
 OVER 6% 25 FEET
22. SEWER OR STORM DRAIN TRENCHES THAT ARE OUT THROUGH BASIN DIKES OR BASIN INLET DIKES, SHALL BE PLUGGED WITH SANDBAGS FOR TOP OF PIPE TO TOP OF DIKE. SEWER LINES SHALL FIRST BE ENCASED IN CONCRETE BEFORE SANDBAGS ARE PLACED.
23. ALL OPEN UTILITY TRENCHES SHALL BE BLOCKED AT THE PRESCRIBED INTERVALS FROM THE BOTTOM TO TOP WITH A DOUBLE ROW OF SANDBAGS PRIOR TO BACKFILL. SEWER TRENCHES SHALL BE BLOCKED AT THE PRESCRIBED INTERVALS WITH A DOUBLE ROW OF SANDBAGS EXTENDING DOWNWARD, TWO SANDBAGS FROM THE GRADED SURFACE OF THE STREET. SANDBAGS ARE TO BE PLACED WITH ALTERNATE HEADER AND STRETCHER COURSES. THE INTERVALS PRESCRIBED BETWEEN SANDBAG LOOKING SHALL DEPEND ON THE SLOPE OF THE GROUND SURFACE, BUT NOT EXCEED THE FOLLOWING:
 GRADE OF THE STREET INTERVAL
 LESS THAN 2% AS REQUIRED
 2% TO 4% 100 FEET
 4% TO 10% 50 FEET
 OVER 10% 25 FEET
24. AFTER STORM DRAIN, SANITARY SEWER AND UTILITY TRENCHES ARE BACKFILLED AND COMPACTED, THE SURFACES OVER SUCH TRENCHES SHALL BE MOUNDING SLIGHTLY TO PREVENT CHANNELING OF WATER IN THE TRENCH AREA. CARE SHOULD BE EXERCISED TO PROVIDE FOR CROSS FLOW AT FREQUENT INTERVALS WHERE TRENCHES ARE NOT ON THE CENTER LINE OF A CROWNED STREET.

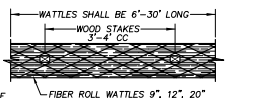


LEGEND

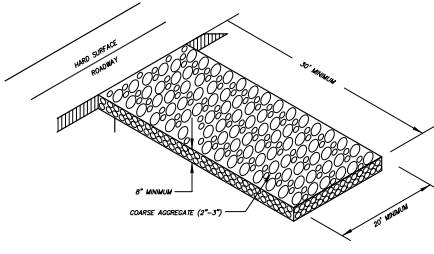
- BOUNDARY
- ADJ. PROPERTY LINE
- NEW BUILDING
- EX. ASPHALT
- CONSTRUCTION GRAVEL ENTRANCE
- FIBER ROLL WATTLES
- INLET PROTECTION
- GRAVEL BAG VELOCITY DAM



FIBER ROLL WATTLE ON CONCRETE OR ASPHALT
NOT TO SCALE

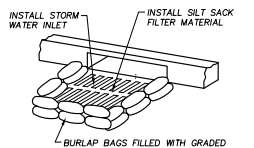


FIBER ROLL WATTLE ON DIRT
NOT TO SCALE

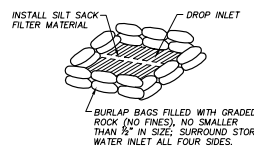


STABILIZED GRAVEL CONSTRUCTION ENTRANCE
NOT TO SCALE

- INLET PROTECTION NOTES:**
1. THICKNESS OF FILLED BAGS WHEN LAID FLAT SHALL NOT EXCEED 4".
 2. ENSURE THERE ARE NO GAPS BETWEEN THE BAGS OR BETWEEN THE BAGS AND THE FACE OF CURB.
 3. REMOVE ACCUMULATED SILT, DIRT, AND DEBRIS BEFORE IT EXCEEDS 2" THICK IN THE CUTTER.
 4. INSPECT INLET PROTECTION DAILY DURING EXTENDED RAINFALL PERIODS AND BEFORE AND AFTER EACH RAIN EVENT.
 5. SILT SACKS SHALL BE INSPECTED DAILY, EMPTIED & CLEANED AS REQUIRED.



CURB INLET PROTECTION
NOT TO SCALE



DROP INLET PROTECTION
NOT TO SCALE

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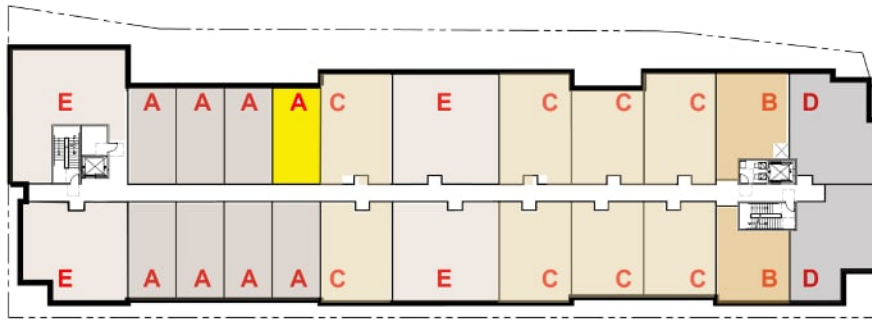
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PRELIMINARY SITE DEVELOPMENT PLAN
PRELIMINARY EROSION CONTROL PLAN
240 "G" STREET
DAVIS, CA

SHEET
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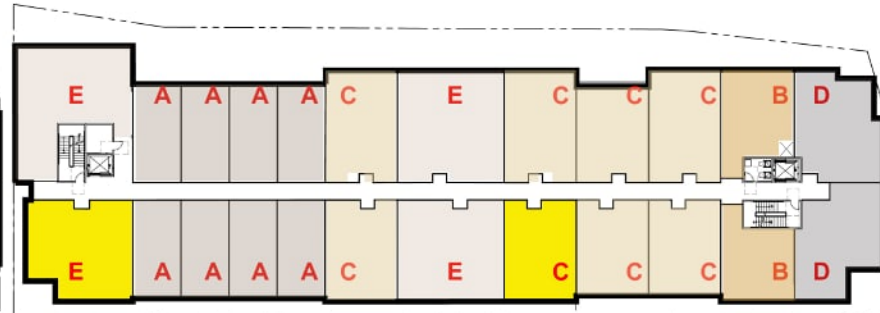


CONCEPTUAL SECOND LEVEL PLAN

SCALE: 1/16" = 1'-0"
NORTH

UNIT SUMMARY LEVEL 2

unit type	quantity	description
Unit A	8	JR ONE BEDROOM
Unit B	2	ONE BEDROOM
Unit C	8	ONE BEDROOM + DEN
Unit D	2	TWO BEDROOM
Unit E	4	TWO BEDROOM + DEN
Unit F	0	LIVE/WORK LOFT

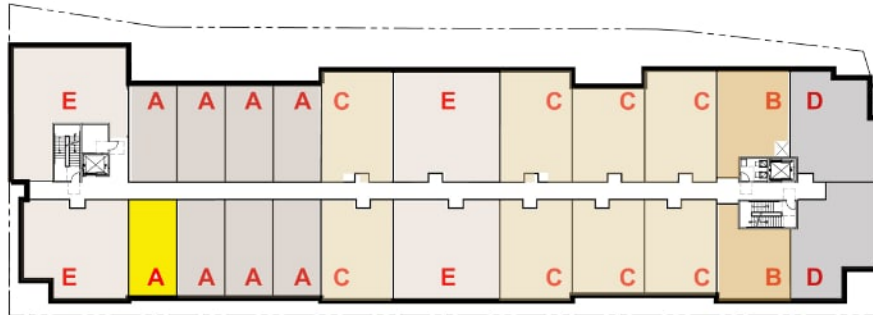


CONCEPTUAL THIRD LEVEL PLAN

SCALE: 1/16" = 1'-0"
NORTH

UNIT SUMMARY LEVEL 3

unit type	quantity	description
Unit A	8	JR ONE BEDROOM
Unit B	2	ONE BEDROOM
Unit C	8	ONE BEDROOM + DEN
Unit D	2	TWO BEDROOM
Unit E	4	TWO BEDROOM + DEN
Unit F	0	LIVE/WORK LOFT

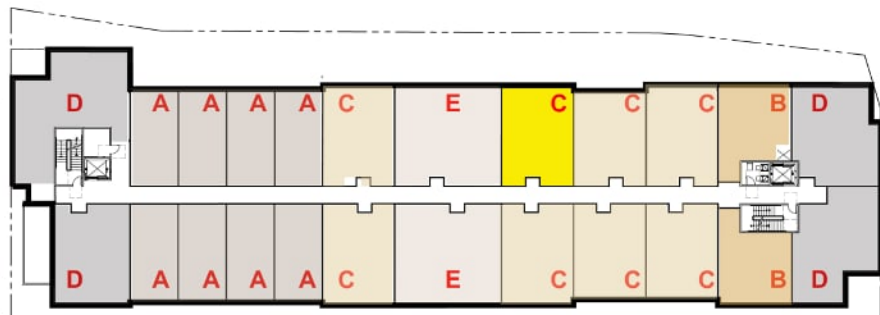


CONCEPTUAL FOURTH LEVEL PLAN

SCALE: 1/16" = 1'-0"
NORTH

UNIT SUMMARY LEVEL 4

unit type	quantity	description
Unit A	8	JR ONE BEDROOM
Unit B	2	ONE BEDROOM
Unit C	8	ONE BEDROOM + DEN
Unit D	2	TWO BEDROOM
Unit E	4	TWO BEDROOM + DEN
Unit F	0	LIVE/WORK LOFT



CONCEPTUAL FIFTH LEVEL PLAN

SCALE: 1/16" = 1'-0"
NORTH

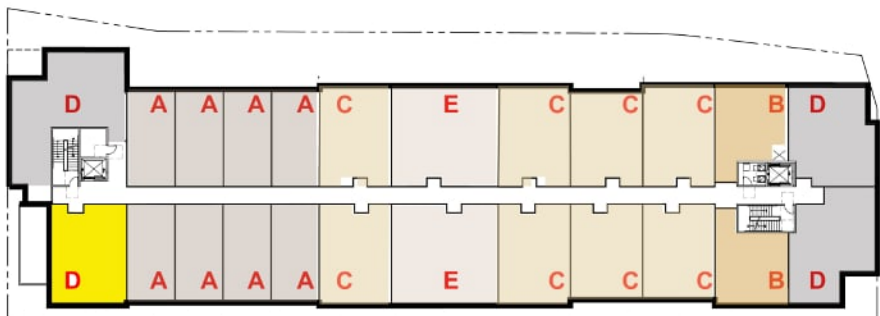
UNIT SUMMARY LEVEL 5

unit type	quantity	description
Unit A	8	JR ONE BEDROOM
Unit B	2	ONE BEDROOM
Unit C	8	ONE BEDROOM + DEN
Unit D	4	TWO BEDROOM
Unit E	2	TWO BEDROOM + DEN
Unit F	0	LIVE/WORK LOFT

UNIT SUMMARY LEVEL 1-6

UNIT TYPE	QUANTITY	DESCRIPTION	% AFFORDABLE	# AFFORDABLE UNITS
Unit A	40	JR ONE BEDROOM	5%	2 UNITS
Unit B	10	ONE BEDROOM		
Unit C	40	ONE BEDROOM + DEN	5%	2 UNITS
Unit D	14	TWO BEDROOM	5%	1 UNIT
Unit E	16	TWO BEDROOM + DEN	5%	1 UNIT
Unit F	6	LIVE/ WORK LOFT		

120 UNITS + 6 GROUND FLOOR LIVE/WORK LOFTS-TOTAL AFFORDABLE: 6 UNITS



CONCEPTUAL SIXTH LEVEL PLAN

SCALE: 1/16" = 1'-0"
NORTH

UNIT SUMMARY LEVEL 6

unit type	quantity	description
Unit A	8	JR ONE BEDROOM
Unit B	2	ONE BEDROOM
Unit C	8	ONE BEDROOM + DEN
Unit D	4	TWO BEDROOM
Unit E	2	TWO BEDROOM + DEN
Unit F	0	LIVE/WORK LOFT



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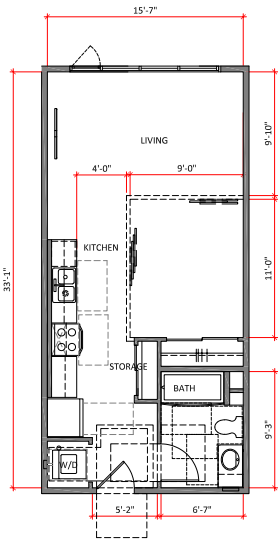
LCA ARCHITECTS
100 HIGHLAND AVENUE, SUITE 100
SALYER PARK, CALIFORNIA 94588
925.934.1000

Unit Breakdown

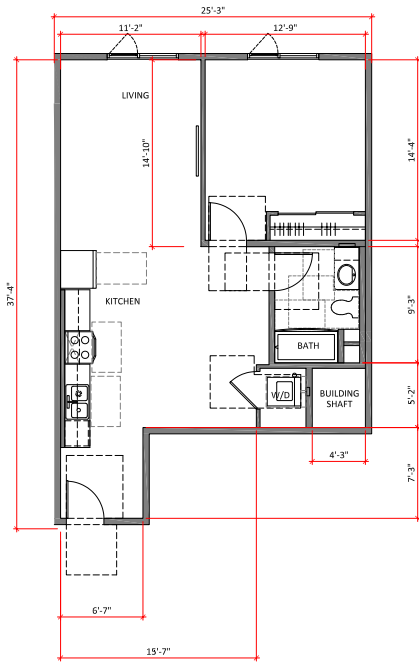
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DATE: 10/12/2023
REVISIONS:

PROJECT NO. 220

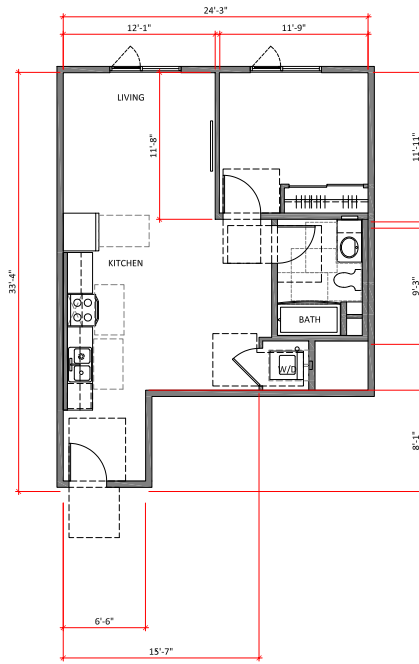
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SHEET OF



A.1 JR. 1 BEDROOM
UNIT 1/4" = 1'-0" 516 SQFT +/-

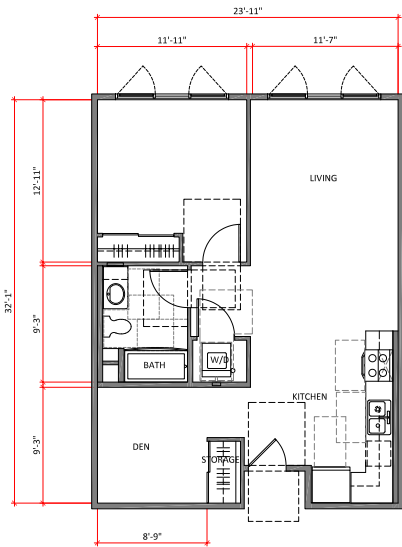


B.1 1 BEDROOM
UNIT 1/4" = 1'-0" 762 SQFT +/-

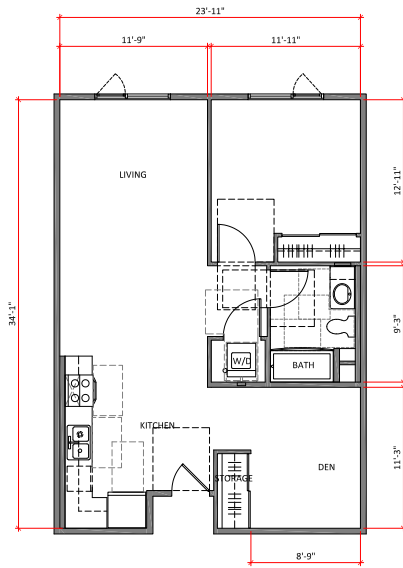


B.2 1 BEDROOM
UNIT 1/4" = 1'-0" 644 SQFT +/-

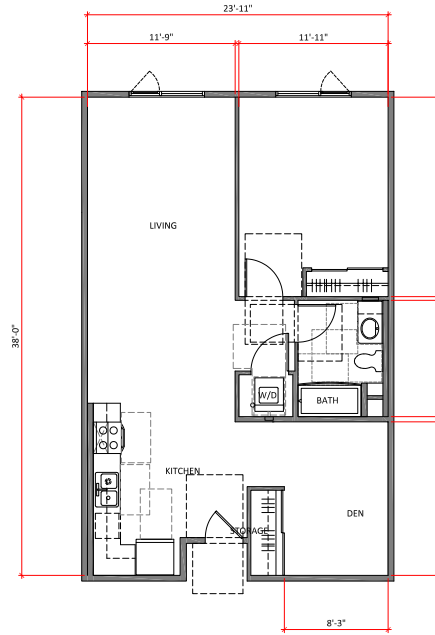
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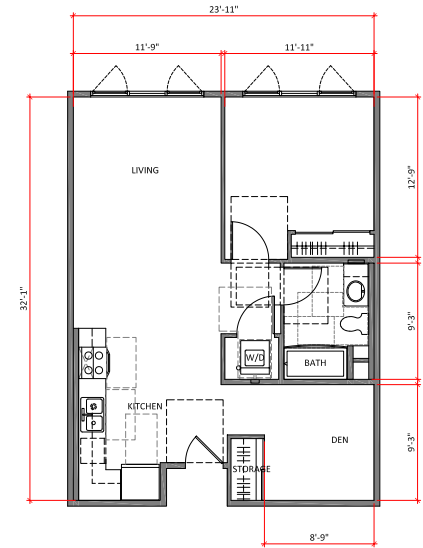
C.1 1 BEDROOM + DEN
 Unit 1/4" = 1'-0" 764 SQFT +/-



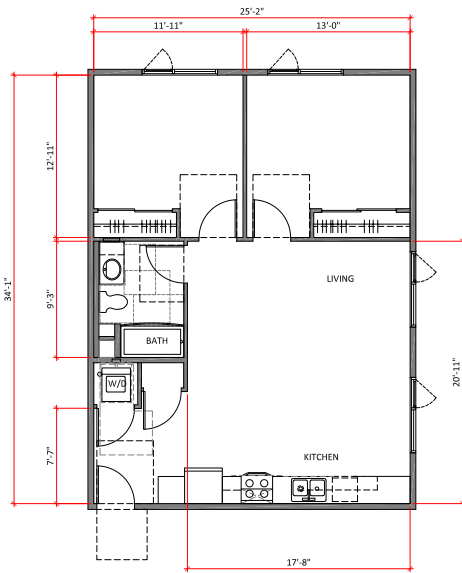
C.2 1 BEDROOM + DEN
 Unit 1/4" = 1'-0" 811 SQFT +/-



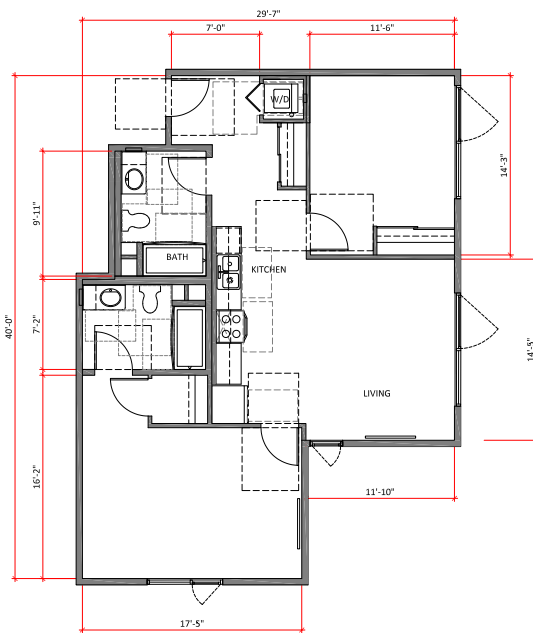
C.4 1 BEDROOM + DEN
 Unit 1/4" = 1'-0" 906 SQFT +/-



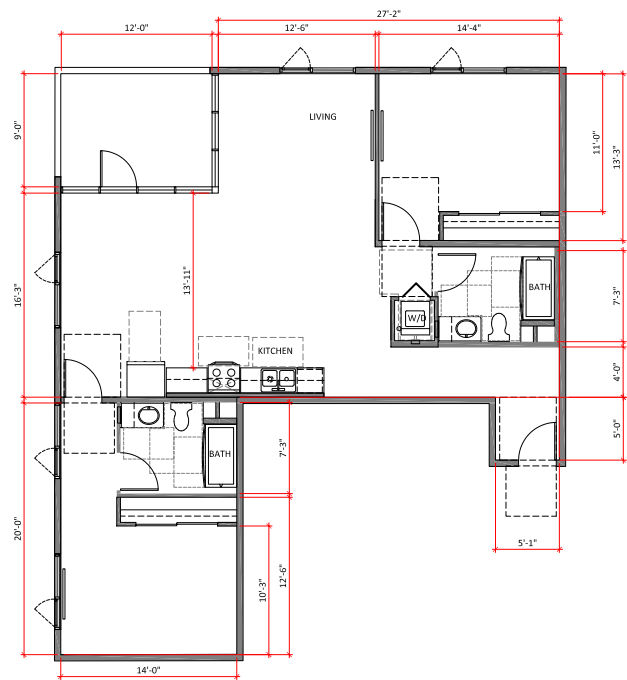
C.5 1 BEDROOM + DEN
 Unit 1/4" = 1'-0" 811 SQFT +/-



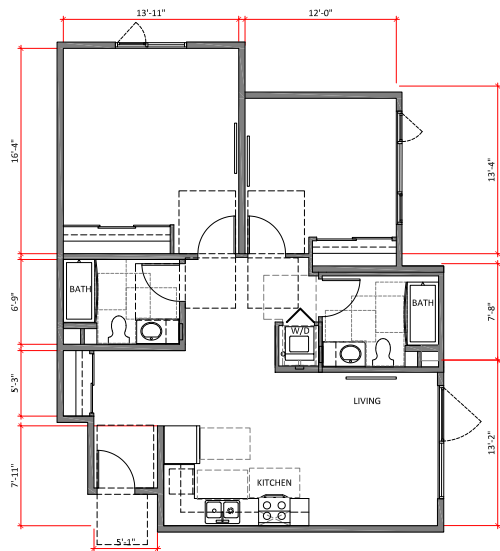
D.1 2 BEDROOM
 UNIT 1/4" = 1'-0" 858 SQFT +/-



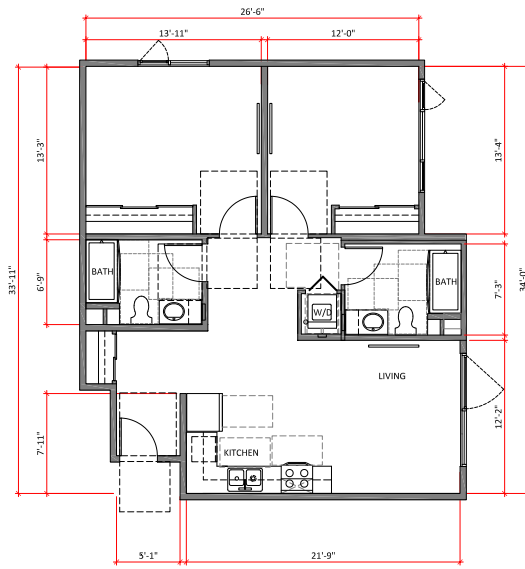
D.2 2 BEDROOM
 UNIT 1/4" = 1'-0" 982 SQFT +/-



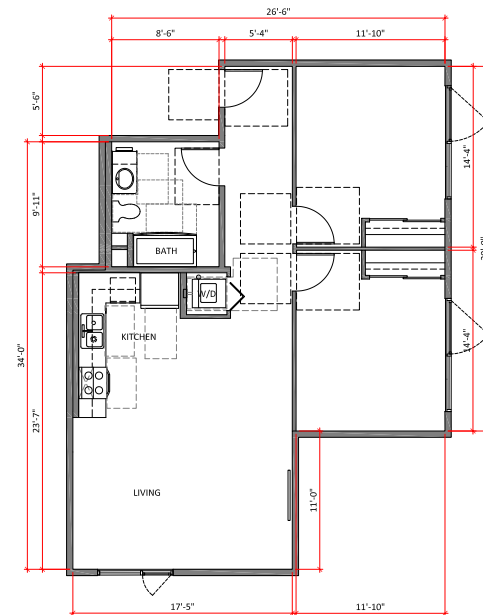
D.3 2 BEDROOM
 UNIT 1/4" = 1'-0" 1,211 SQFT +/-



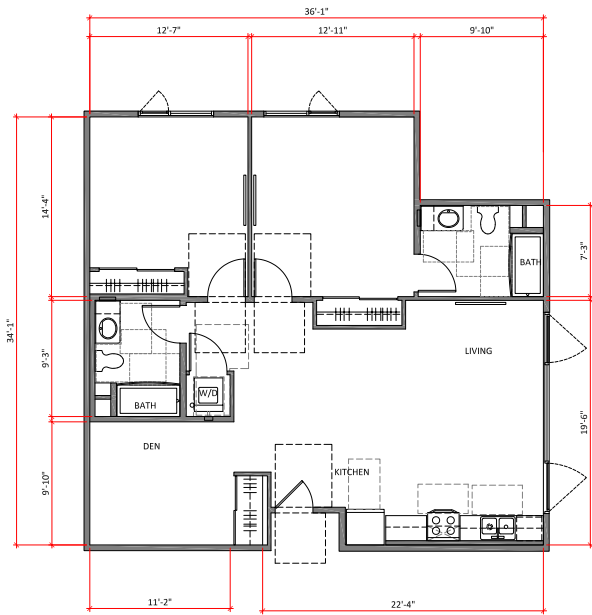
D.4 2 BEDROOM
 UNIT 1/4" = 1'-0" 1,012 SQFT +/-



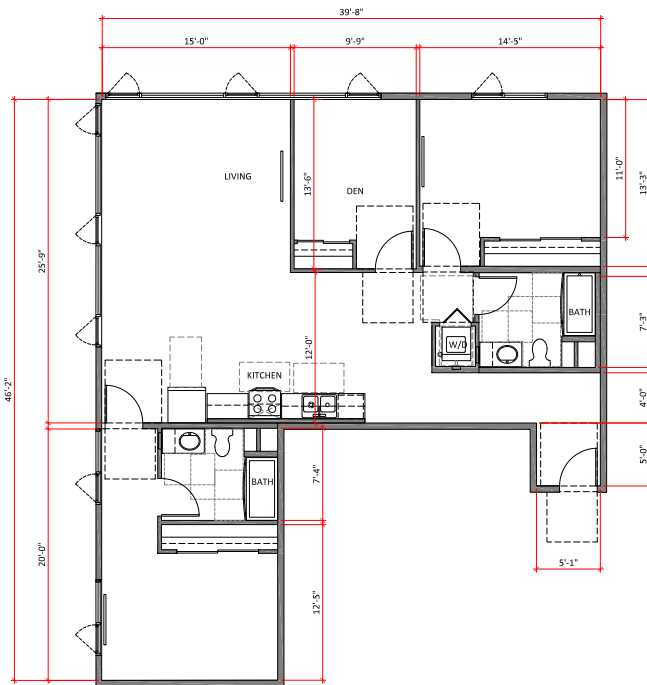
D.5 2 BEDROOM
 UNIT 1/4" = 1'-0" 941 SQFT +/-



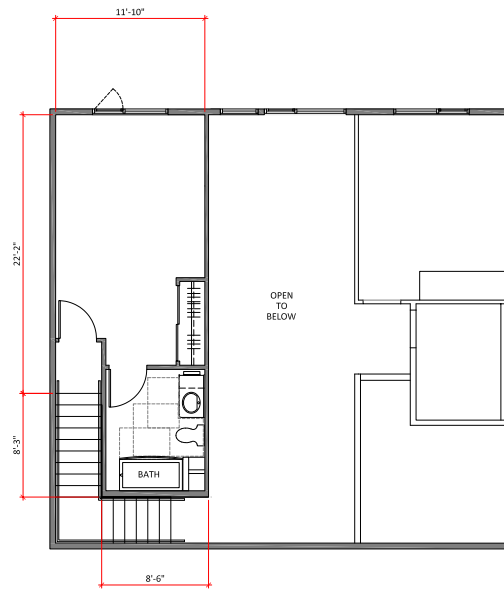
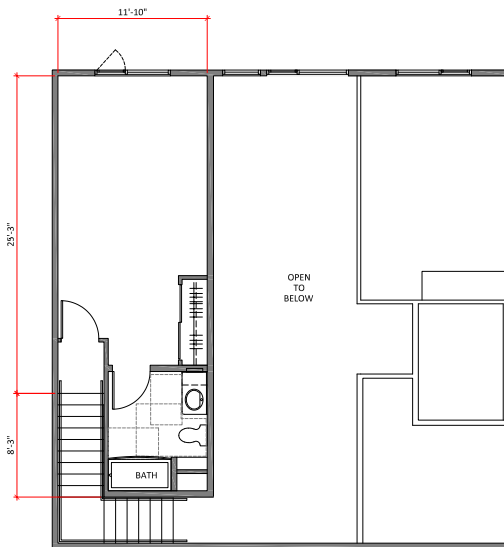
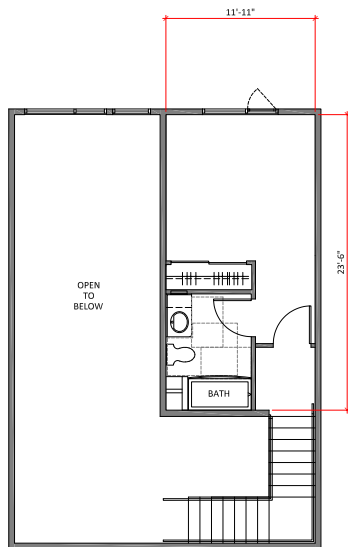
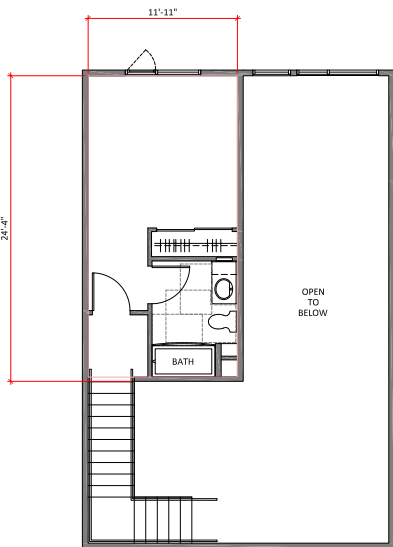
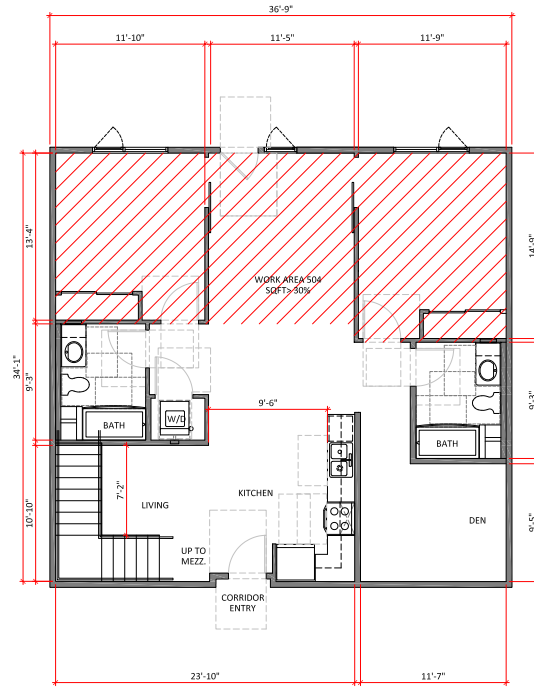
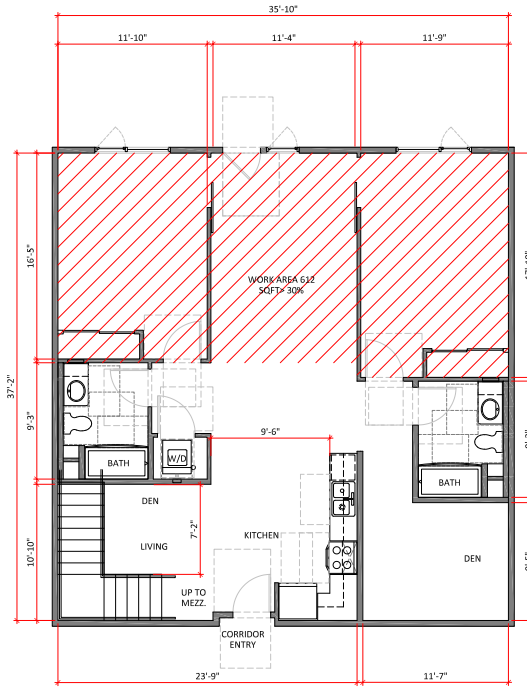
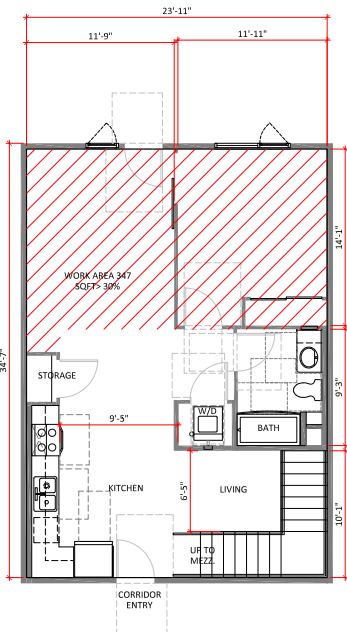
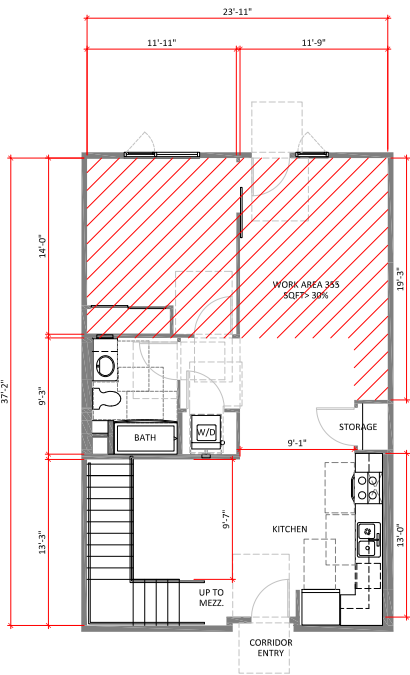
D.6 2 BEDROOM
 UNIT 1/4" = 1'-0" 951 SQFT +/-



E.1 2 BEDROOM + DEN
 UNIT 14' x 14'
 1,195 SQFT +/-



E.2 2 BEDROOM + DEN
 UNIT 14' x 14'
 1,332 SQFT +/-



F.1 LIVE WORK 1 BED + MEZZANINE 1,185 SQFT +/-
1/4" = 1'-0"

F.2 LIVE WORK 1 BED + MEZZANINE 1,111 SQFT +/-
1/4" = 1'-0"

F.3 LIVE WORK 2 BED + MEZZANINE 1,717 SQFT +/-
1/4" = 1'-0"

F.4 LIVE WORK 2 BED + MEZZANINE 1,561 SQFT +/-
1/4" = 1'-0"